

City of Mount Vernon
Design Review Board
Minutes – August 19, 2021

Rebecca Lowell called the meeting to order at 3:00 pm.

Present were Design Review Board members Kathleen Bisagna, Christian Carlson, Ellen Gamson, and Adair Orr

Present for City Staff were Principal Planner Rebecca Lowell, Development Services, Senior Planner Marianne Manville-Ailles, Director Chris Phillips, and Sr. Permit Technician, Shawna Gossett

PUBLIC HEARING FOR PROPOSED FACADE CHANGES TO 517 S 1ST STREET:

Proponents present were Business Owner, Juan Fajardo & Adair Orr, Applicant. Mr. Orr acted only as the applicant and did not vote on this item.

Marianne Manville-Ailles provided an overview of the proposal.

The Design Review Board will be reviewing a proposal to replace existing storefront vertical fenestration with larger, operable fenestration and to bring elements of the street facing elevation into compliance with the City of Mount Vernon Downtown Design Standards. The site is the current location of Catrina Tacos and Tequila. The proposal is subject to design review per Mount Vernon Municipal Code Chapter 17.70.

Ms. Manville-Ailles further reviewed the staff report outlining the criteria the Board would consider in their review.

Following discussion from Board Members, Proponents and City Staff, a Motion by Ellen Gamson, seconded by Kathleen Bisagna to approve the proposal with the following amendments.

- Provide a small painted test area to ensure colors match the adjacent terra cotta.

The motion pass unanimously.

PUBLIC MEETING FOR PROPOSED FAÇADE AND SITE CHANGES TO 508 S 2ND STREET

Proponents present were Property Owner Mike Morgan & Mike McKernan and Applicant Mark Christ

The Design Review Board will be reviewing a phased project to result in 1,820 s.f. of professional office space, seven new apartments (7,946 s.f. of interior remodeling will create five (5) of the units and a 3,196 s.f. addition to the third floor will create the additional two (2) units), and new improvements including: an apartment lobby, elevator, outdoor roof deck, parking areas, dumpster enclosure, common outdoor space, and landscaping. The Board will be making a recommendation to City Council for approval.

Ms. Lowell further reviewed the staff report outlining the criteria the Board would consider in their review.

Following discussion from Board Members, Proponents and City Staff, a Motion by Kathleen Bisagna, seconded by Ellen Gamson to recommend approval to City Council with the following conditions:

1. The below listed waivers per MVMC 17.70.080 be granted:
 - a. The requirement for transparent windows and/or doors and the requirement for weather protection along 75% of the frontage outlined in Design Standard DT-A (Ground Floor Treatment) for the reasons outlined on page 2 of this staff report. However, staff would recommend the existing windows must remain and the door on this façade must remain largely transparent.
 - b. The requirement for windows to comprise no less than 15 percent of the building façade outlined in Design Standard DT-E on the north, west, and south elevations of the structure. The Board recommends the Applicant be required to submit revised plans bringing the east elevation closer to complying with the glazing requirements. Further, the Board recommends the Applicant be required to submit revised drawings identifying which of the listed elements are being satisfied for 50% or more of the windows.
2. The Board recommends the Applicant be required to submit revised plans to comply with the below-listed standards. Further, staff recommends these plans be reviewed and approved by the City's Design Review consultant vs. the Design Review Board or the Hearing Examiner:
 - a. Demonstrating all of the windows will be surrounded by trim, molding, sills or other architectural features and that they recess or project at least three-inches from the façade.
 - b. Demonstrating the materials and colors proposed on the north, east, and south facades of the structure.
 - c. Demonstrating the entry off of W Gates Street have two or more of the listed required elements under DT-C, subsection H, installed.
 - d. Demonstrating compliance with the lighting requirements outlined in DT-C, subsection I.
 - e. Identifying where mechanical equipment, utility meters and vaults, rooftop mechanical and communication equipment will be located; and once located screening needs to be identified so that these items are not visible.
 - f. Demonstrating greater compliance with the percentage of windows and window placement for the east elevation of the structure.
 - g. Demonstrating the existing doors facing 2nd Street will remain on the structure.
3. The Board recommends the City's arborist review and approve the landscaping plans. The Applicant will be required to amend these plans as recommended by the City's arborist.
4. The Board recommends all of the site improvements, i.e. the outdoor patio area, pergola, accent paver walkway, artistic accent panels, overhead trellis, masonry screening walls and all landscaping be completed as a condition of what the Applicant has identified as the Phase I project.

The Motion passed unanimously.

**DESIGN REVIEW BOARD:
NOTICE OF DECISION**

A. BACKGROUND INFORMATION:

PERMIT NUMBER:	PLAN21-0306	PROJECT PARCEL NUMBERS:	P52035
PROJECT ADDRESS:	517 South First Street		
APPLICANT:	Adair Orr; Armadillo DL		
PROJECT DESCRIPTION:	The City's Design Review Board will be reviewing a proposal to replace existing storefront vertical fenestration with larger, operable fenestration and to bring elements of the street facing elevation into compliance with the City of Mount Vernon Downtown Design Standards. The site is the current location of Catrina Tacos and Tequila. The proposal is subject to design review per Mount Vernon Municipal Code Chapter 17.70.		
APPLICABLE MVMC	MVMC CHAPTERS 17.70, 17.48, 17.84, 17.93 AND CHAPTER 14.05		

B. PROCEDURAL ITEMS:

- **August 19, 2021:** the Design Review Board held their public hearing and made the decision outlined within this Notice.

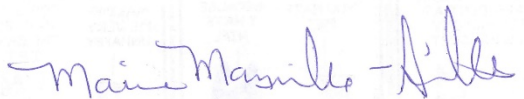
C. EXHIBITS ATTACHED TO THIS DECISION:

Exhibit A: Plans that have been Approved with Conditions.

Exhibit B: Staff Report dated August 19, 2021

1. Prior to painting the entire structure, the applicant will prepare some small test areas to ensure that the colors match the adjacent terra cotta.

The Design Review Board requested City Staff prepare and distribute this Report/Notice of Decision on their behalf.



**Marianne Manville-Ailles, Senior Planner
Development Services Department**

August 19, 2021
Date

D. APPEALS/NOTES TO APPLICANT:

The subject proposal is a Type III decision per MVMC Chapter 14.05; where a final decision is made by the Design Review Board following a public hearing.

The decision of the Design Review Board may be appealed in an open record appeal hearing to the Hearing Examiner within 14 days of the Decision.

Further information may be obtained by contacting the Development Services Department at: 910 Cleveland Ave, Mount Vernon, WA 98273, (360) 336-6214.

DESIGN REVIEW BOARD: NOTICE OF RECOMMENDATION

A. BACKGROUND INFORMATION:

PERMIT NUMBER:	PLAN21-0294		
PROJECT ADDRESS:	508 S 2 nd Street	PROJECT PARCEL NUMBERS:	P52080
APPLICANT:	Mark Christ		
PROJECT DESCRIPTION:	Phased project to result in 1,820 s.f. of professional office space, seven new apartments (7,946 s.f. of interior remodeling will create five (5) of the units and a 3,196 s.f. addition to the third floor will create the additional two (2) units), and new improvements including: an apartment lobby, elevator, outdoor roof deck, parking areas, dumpster enclosure, common outdoor space, and landscaping.		
APPLICABLE MVMC	MVMC CHAPTERS 17.70, 17.48, 17.84, 17.93 AND CHAPTER 14.05		

B. PROCEDURAL ITEMS:

- **August 19, 2021:** the Design Review Board held a public hearing on the proposed project and made the recommendations contained in this notice.

C. EXHIBITS ATTACHED TO THIS DECISION:

Exhibit A: Plans that have been Approved with Conditions.

Exhibit B: Staff Report dated August 13, 2021

D. ANALYSIS, DECISION & CONDITIONS:

Proposals subject to Design Review Standards codified in MVMC 17.70 are required to submit plans and materials demonstrating compliance with the standards adopted in said Chapter of the MVMC.

On August 19, 2021 the City of Mount Vernon Design Review Board made a unanimous motion to **APPROVE WITH CONDITIONS** the above-described proposal specifically shown on the accompanying site plans and associated materials attached to this Decision identified as **Exhibit A**.

The Design Review Board's Conditions of Approval for this permit are as follows:

1. The below listed waivers per MVMC 17.70.080 be granted:
 - a. The requirement for transparent windows and/or doors and the requirement for weather protection along 75% of the frontage outlined in Design Standard DT-A (Ground Floor Treatment) for the reasons outlined on page 2 of this staff report. However, staff would recommend the existing windows must remain and the door on this façade must remain largely transparent.

- b. The requirement for windows to comprise no less than 15 percent of the building façade outlined in Design Standard DT-E on the north, west, and south elevations of the structure. The Board recommends the Applicant be required to submit revised plans bringing the east elevation closer to complying with the glazing requirements. Further, the Board recommends the Applicant be required to submit revised drawings identifying which of the listed elements are being satisfied for 50% of more of the windows.
2. The Board recommends the Applicant be required to submit revised plans to comply with the below-listed standards. Further, staff recommends these plans be reviewed and approved by the City's Design Review consultant vs. the Design Review Board or the Hearing Examiner:
 - a. Demonstrating all of the windows will be surrounded by trim, molding, sills or other architectural features and that they recess or project at least three-inches from the façade.
 - b. Demonstrating the materials and colors proposed on the north, east, and south facades of the structure.
 - c. Demonstrating the entry off of W Gates Street have two or more of the listed required elements under DT-C, subsection H, installed.
 - d. Demonstrating compliance with the lighting requirements outlined in DT-C, subsection I.
 - e. Identifying where mechanical equipment, utility meters and vaults, rooftop mechanical and communication equipment will be located; and once located screening needs to be identified so that these items are not visible.
 - f. Demonstrating greater compliance with the percentage of windows and window placement for the east elevation of the structure.
 - g. Demonstrating the existing doors facing 2nd Street will remain on the structure.
3. The Board recommends the City's arborist review and approve the landscaping plans. The Applicant will be required to amend these plans as recommended by the City's arborist.
4. The Board recommends all of the site improvements, i.e. the outdoor patio area, pergola, accent paver walkway, artistic accent panels, overhead trellis, masonry screening walls and all landscaping be completed as a condition of what the Applicant has identified as the Phase I project.

The Design Review Board requested City Staff prepare and distribute this Report/Notice of Decision on their behalf.



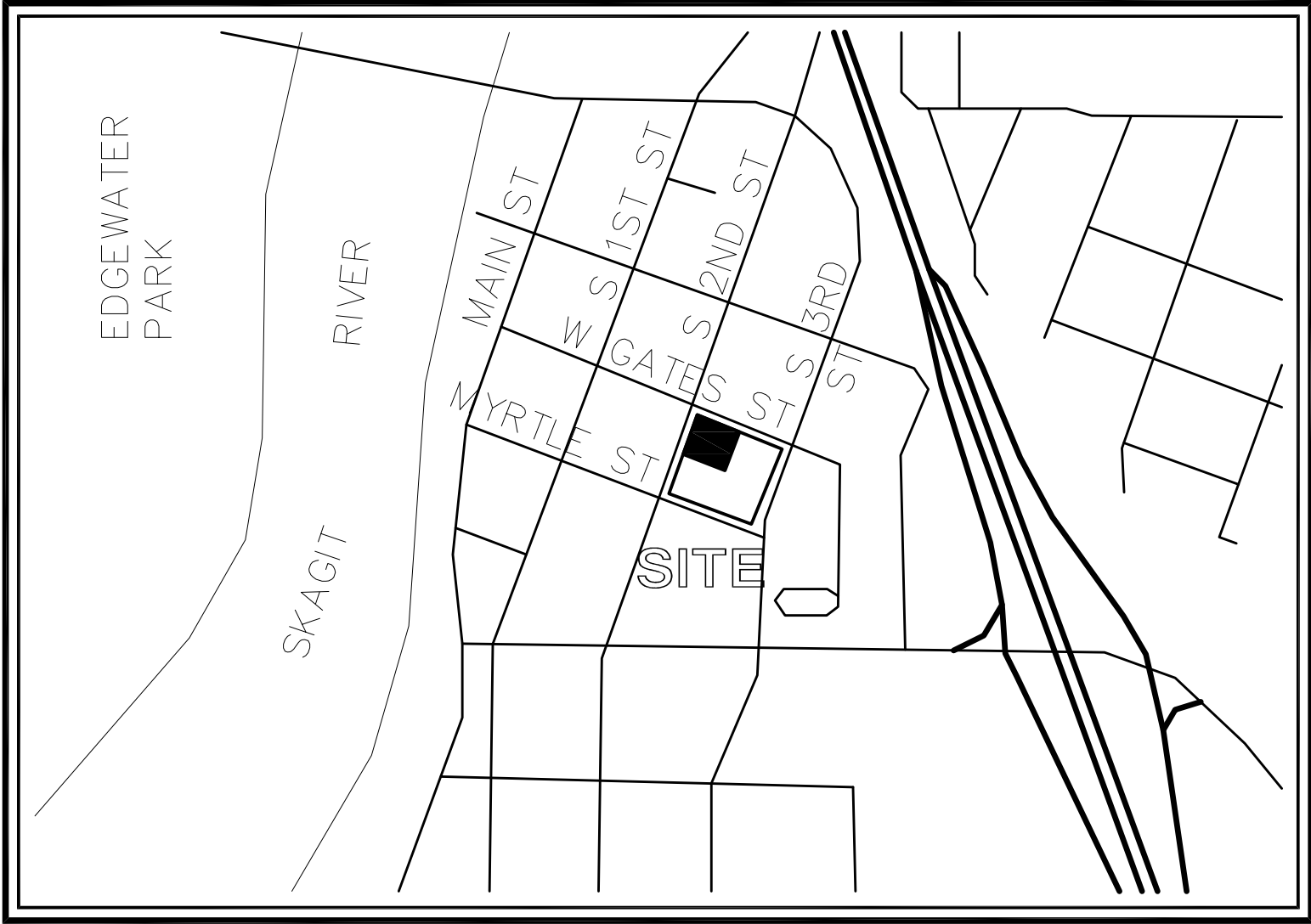
**Rebecca Lowell, Principal Planner
Development Services Department**

August 19, 2021
Date

D. APPEALS/NOTES TO APPLICANT:

The subject proposal is a Type III decision per MVMC Chapter 14.05; where a final decision will be made by the Hearing Examiner following a public hearing to be held on August 30, 2021.

Further information may be obtained by contacting the Development Services Department at: 910 Cleveland Ave, Mount Vernon, WA 98273, (360) 336-6214.



VICINITY MAP
NOT TO SCALE

DRAWING INDEX

PHASE I

- A1 SITE PLAN
- A2 FLOOR PLANS
- A3 EXTERIOR ELEVATIONS
- A4 BUILDING SECTIONS
- L1 LANDSCAPE PLAN

PHASE II

- A5 SITE PLAN
- A6 FLOOR PLANS
- A7 EXTERIOR ELEVATIONS
- A8 BUILDING SECTIONS
- L2 LANDSCAPE PLAN

- S SURVEY

DESCRIPTION OF THE WORK

PHASE I

7,946 sf remodel to existing 9,766 sf building.

Basement:	1,554 sf remodel	(1) Apartment
First Floor:	3,196 sf remodel	(2) apartments
Second Floor:	1,820 sf existing	Professional Office
	3,196 sf remodel	(2) Apartments

PHASE II

third floor and elevator addition, remodel for new roof deck

Basement	93 sf addition	Elevator
First Floor	169 sf addition	Elevator and Lobby
Second Floor	230 sf addition	Elevator and Lobby
	360 sf remodel	Roof Deck
Third Floor	243 sf addition	Elevator and Lobby
	3,815 sf addition	(2) Apartments

OUTDOOR SPACE PROVIDED (PHASE I)

Apartment	Private	Common
001	=	180 sf
101	82 sf	100 sf
102	=	180 sf
201	68 sf	100 sf
202	=	180 sf
total		740 sf

COMMON OUTDOOR SPACE

Total Required	740 sf
Ground Level Provided	810 sf

OUTDOOR SPACE PROVIDED (PHASE II)

Apartment	Private	Common
001	=	180 sf
101	=	180 sf
102	=	180 sf
201	=	180 sf
202	=	180 sf
301	=	180 sf
302	=	180 sf
total		1260 sf

COMMON OUTDOOR SPACE

Total Required	1260 sf
Ground Level Provided	810 sf (64%)
Roof Deck Provided	450 sf (36%)

PROJECT LOCATION

Address	508 South 2ND Street Mount Vernon, WA 98273
Parcel	52080

ZONING CODE INFORMATION

Zone	MVMC 17.45 Downtown District MVMC 17.45.020.A Subdistrict C-1a
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Existing Use

Utility Company
Professional Office
Warehouse with Caretaker Residence

Proposed Change in Use

1st floor:
2nd & 3rd floor:
Retail
Multifamily residential without ground-level residential units of 35 units or less.

No Change to Existing Use

Professional Office
D. Office use with more than 500 SF at ground level
Type III, Conditional Use per MVMC 17.45.050 required

MVMC 17.45.070 Development Standards

A. Applicable to all C-1 Zones:

Minimum Lot Area & Width

Minimum Setbacks

Density Requirements

Design Standards

Parking Requirements

MVMC 17.84.020. E-1

Signage Requirements

Landscaping Requirements
17.93.020.I

17.45.070.B Development Standards

Applicable to C-1a Zone Only:

However:

However:

508 South 2ND Street
Mount Vernon, WA 98273

52080

MVMC 17.45 Downtown District
MVMC 17.45.020.A Subdistrict C-1a

Utility Company
Professional Office
Warehouse with Caretaker Residence

Permitted Use

Retail
Multifamily residential without ground-level residential units of 35 units or less.

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Unrestricted

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Design Review per 17.70 MVMC

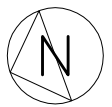
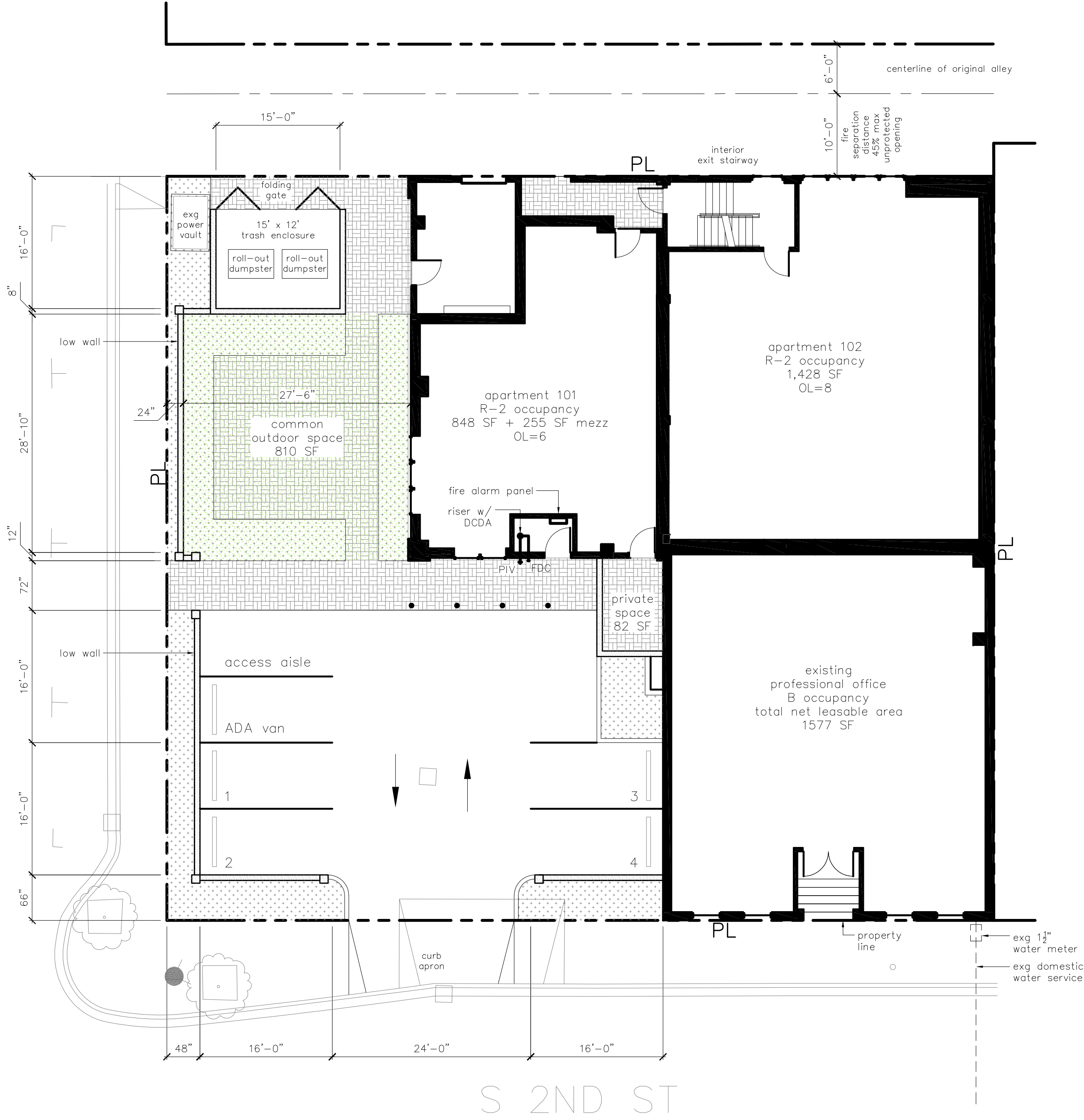
Per 17.84 MVMC
All off-street parking not required to be on the premises.
Property is Zoned C-1a and is within 1,000 FT of City Lot abutting the riverwalk trail.

Per 17.87 MVMC

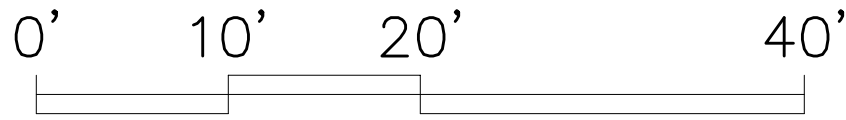
Per 17.93 MVMC
Improvement < 50% & Change of Use in C-1 zone
responsible for installing or replacing street trees in the ROW

Unrestricted Height and Stories.
shall comply with Shoreline Management Master Program
shall comply IFC and IBC limitations to height and stories.

W GATES ST



Site Plan
1"=10'-0"



PHASE I

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546



Improvements to 508 2nd Street
for RPI Mount Vernon LLC









Date:
SCHEMATIC
DESIGN
03/12/21

Sheet:
A1



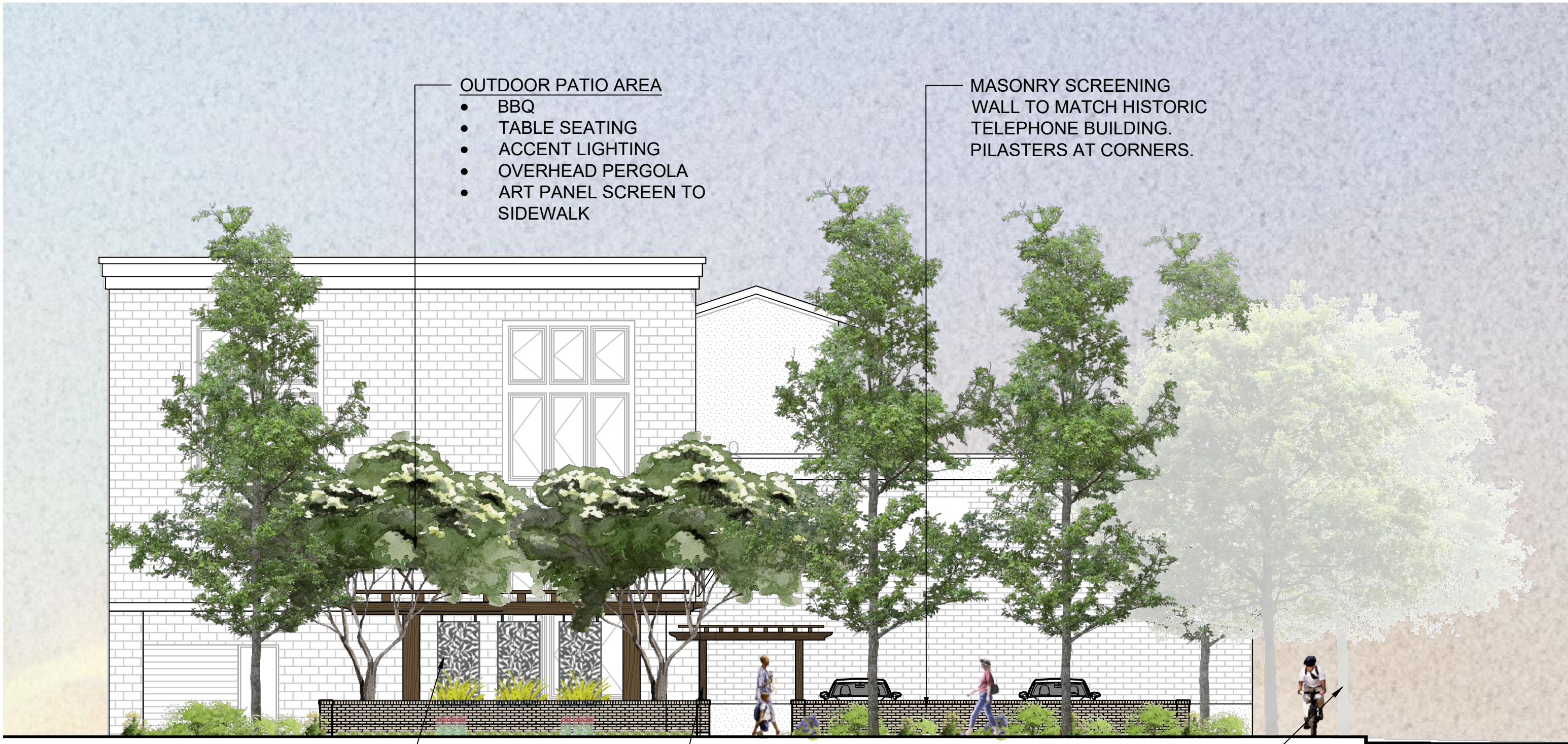
PLANTING PLAN
1/8" = 1'-0" (CHECK SCALE BAR FOR ACCURACY)



PLANT SCHEDULE			
TREES	CODE	BOTANICAL NAME	COMMON NAME
	ACE GRI	Acer griseum	Paperbark Maple
	ACE TWR	Acer palmatum 'Twombly's Red Sentinel'	Twombly's Red Sentinel Japanese Maple
	LIQ FAS	Liquidambar styraciflua 'Fastigiata'	Sweetgum 'Fastigiata'
	VIB STE	Viburnum opulus 'Roseum'	European Snowball Viburnum
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	BER BAG	Berberis thunbergii 'Bagatelle'	Bagatelle Red Barberry
	CHA GRA	Chamaecyparis obtusa 'Gracilis'	Slender Hinoki Cypress
	HYD WAV	Hydrangea macrophylla 'Blue Wave'	Blue Wave Lacecap Hydrangea
	ILE GGI	Ilex glabra 'SMNGAB17 TM'	Gem Box Inkberry Holly
	MAH REP	Mahonia repens	Creeping Mahonia
	NAN MOO	Nandina domestica 'Moon Bay TM'	Heavenly Bamboo
	RHO RA2	Rhododendron x 'Ramapo'	Ramapo Rhododendron
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME
	CAR OSH	Carex oshimensis 'Everoro'	Everoro Japanese Sedge
	HEL ORI	Helleborus orientalis	Lenten Rose
	HEM YH2	Hemerocallis x	Hybrid Daylily
	HEU B20	Heuchera x 'Black Beauty'	Coral Bells
	LAV DEN	Lavandula dentata	French Lavender
	LIR BI2	Liriope spicata 'Big Blue'	Creeping Lily Turf
	MIS LIT	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass
	POL MUN	Polystichum munitum	Western Sword Fern
	SED PU2	Sedum x 'Purple Emperor'	Stoncrop
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	AJU RCC	Ajuga reptans 'Black Scallop'	Black Scallop Carpet Bugle
	ARC UVA	Arctostaphylos uva-ursi	Kinnikinnick

DESIGN STANDARDS AND GUIDELINES IN MOUNT VERNON

Parking Area	
REQUIRED	Street Trees and low concrete wall
PROVIDED	Street Trees and low masonry wall tied to adjacent historic structure
Multi-family front yards (MF-A-2)	
REQUIRED	Four elements from a list of seven options
PROVIDED	1-Trellis / arbor at main entrance
	2-Decorative accent paver entrance walkway
	3-Accent brick wall as fence alternative to match parking screening wall
	4-Artistic screening panel facing street
Usable Recreation Areas and Common Spaces (MF-E1)	
REQUIRED	Two elements from a list of eight options
PROVIDED at GROUND LEVEL	1- Overhead Pergola
	2-Decorative accent paver patio areas
	3- BBQ for residents
	4 -Tables and Chairs



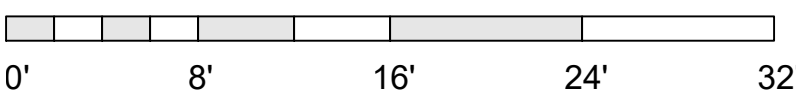
1 - NORTH ELEVATION
1/8" = 1'-0" (CHECK SCALE BAR FOR ACCURACY)



508 Second Street, Mount Vernon
Conceptual Landscape Plan

Prepared for:
RPI Mt Vernon, LLC
2849 West Viewmont Way W.
Seattle, WA 98199
CONTACT: Michael Morgan

Prepared by:
eccosDesign
Landscape Architecture and Planning
Mount Vernon, WA 99273
p. 360.419.7400
f. 800.508.2017





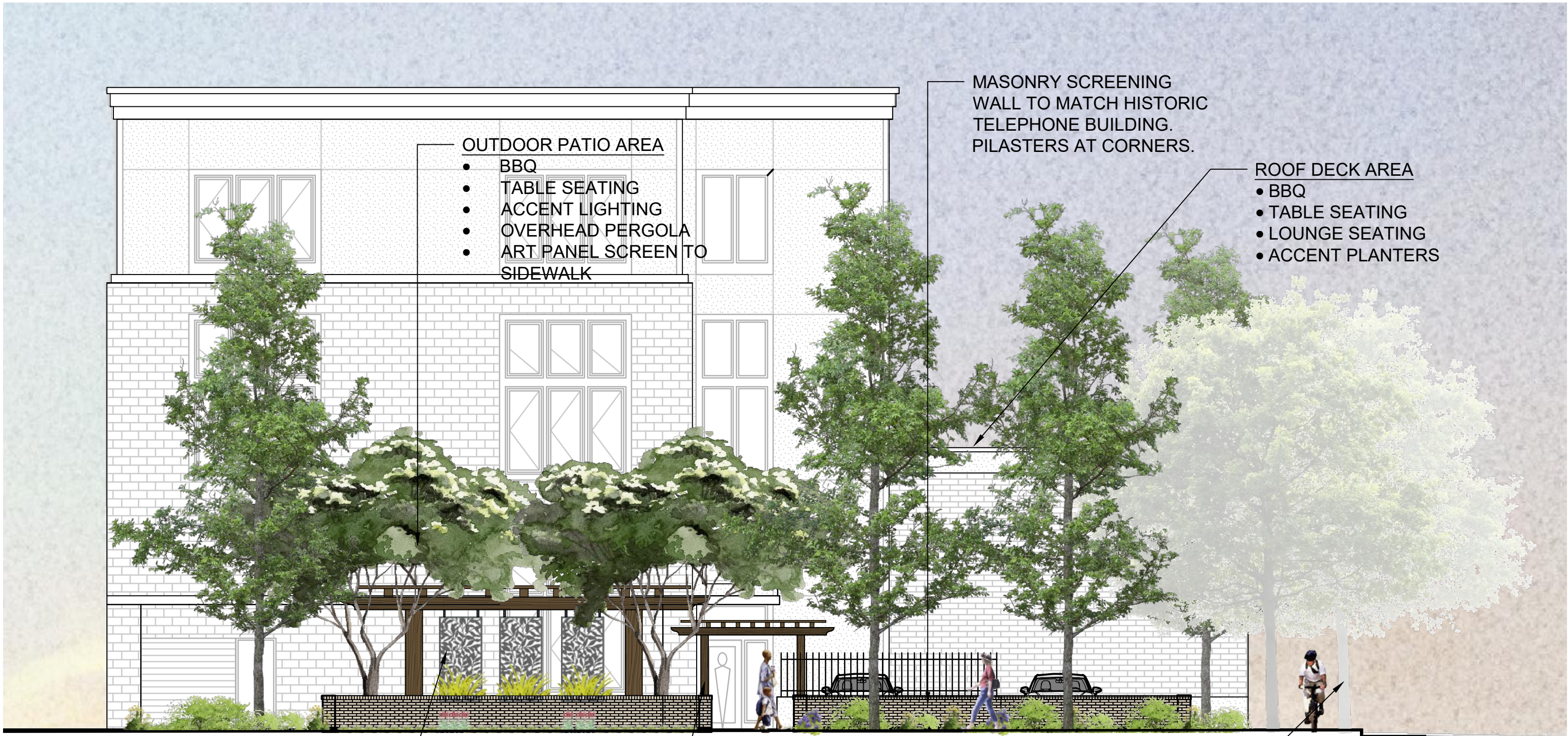
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DESIGN STANDARDS AND GUIDELINES IN MOUNT VERNON

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508 Second Street, Mount Vernon

Conceptual Landscape Plan

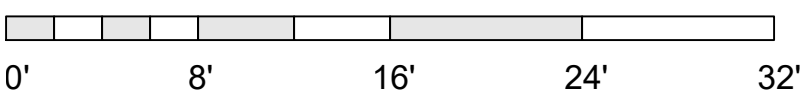
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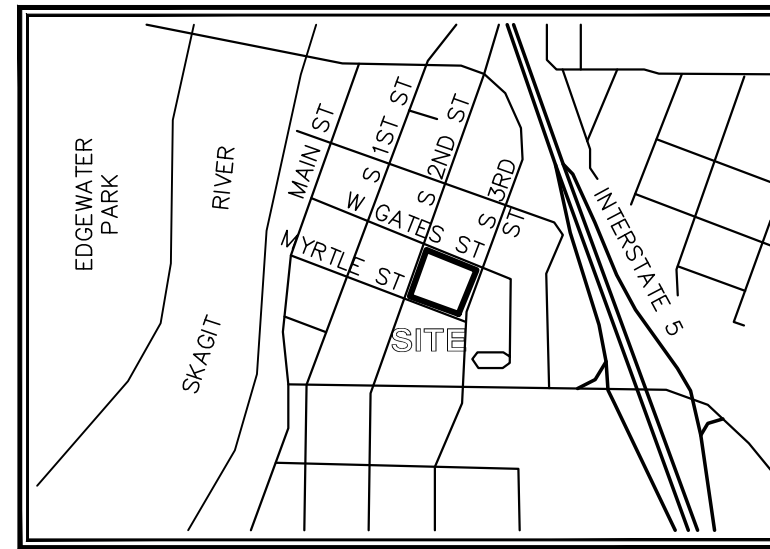
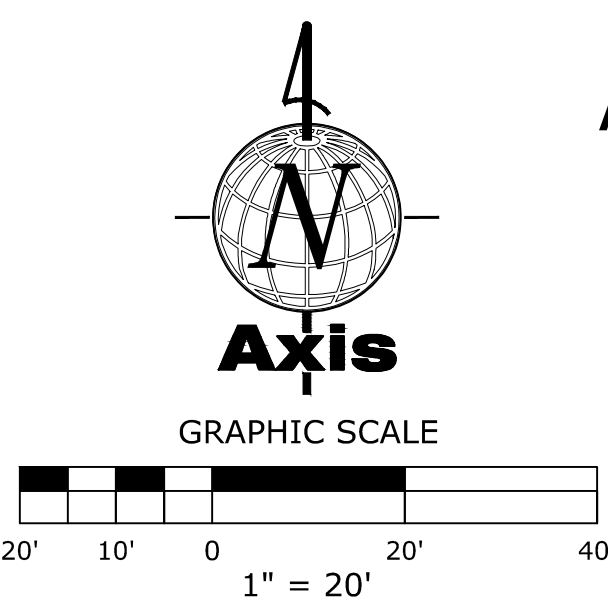


PHASE TWO

L-2

3.17.2021

ALTA/NSPS LAND TITLE SURVEY

VICINITY MAP
NOT TO SCALE

MATTERS OF RECORD PER TITLE

- SUBJECT TO COVENANTS CONDITIONS, RESTRICTIONS AND ADDITIONAL ITEMS AS SET FORTH ON SURVEY, AS RECORDED UNDER RECORDING NUMBER 9209080082.
- SUBJECT TO COVENANTS CONDITIONS, RESTRICTIONS AND ADDITIONAL ITEMS AS SET FORTH ON SURVEY, AS RECORDED UNDER RECORDING NUMBER 200207290135. TOGETHER WITH AN AFFIDAVIT OF MONOR CORRECTION OF SURVEY AS RECORDED UNDER RECORDING NUMBER 200208260145.
- SUBJECT TO RESERVATIONS AND EXCEPTIONS IN UNITED STATES PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; INDIAN TREATY OR ABORIGINAL RIGHTS.
- SUBJECT TO CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF ANY.
- SUBJECT TO ASSESSMENTS, IF ANY, LEVED BY THE CITY OF MOUNT VERNON.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 1, BLOCK 13, EXCEPT E. 6 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 2, LESS E. 6 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 3 & 4, BLOCK 13, EXCEPT E. 10 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 5 & 6, BLOCK 13, EXCEPT W. 6 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 7 & 8, BLOCK 13, LESS W. 6 FEET.
- THE PROPERTY HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXCEPT. HOWEVER, IT WILL BECOME TAXABLE ON THE DATE OF THE EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO THE LIEN OF REAL PROPERTY TAXES FOR THE BALANCE OF THE YEAR FROM THAT DATE FOR TAX ACCOUNT NO'S: P52078, P52079, P52081 & P52082. UNDER LEVY CODE 0930.
- SUBJECT TO LIABILITY IF ANY FOR PERSONAL PROPERTY TAXES.
- PERTAINS TO A DEED OF TRUST PER RECORDING NUMBER 201210100079, AFFECTING LOTS 3 AND 4, BLOCK 13.
- PERTAINS TO THE RIGHT OF ANY PARTY INTEREST TO SUE OR PETITION TO HAVE SET ASIDE, MODIFIED OR CONTEST A JUDICIAL OR NON-JUDICIAL FORECLOSURE OR FORFEITURE, OR ANY DEED PURSUANT HERETO, THROUGH WHICH TITLE TO THE LAND IS DERIVED; AND ANY LEANS, ENCUMBRANCES AND/OR OWNERSHIP INTERESTS WHICH MAY EXIST AS A RESULT OF ANY ACTS OR OMISSIONS OF THE FORECLOSING PARTIES, OR AS A RESULT OF SUCH SUIT OR PETITION.
- ANY UNRECORDED LEASEHOLDS, RIGHT OF VENDORS AND HOLDERS OF SECURITY INTERESTS OR PERSONAL PROPERTY INSTALLED UPON THE LAND AND RIGHTS OF TENANTS TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERMS.

LEGEND

- SET BENCHMARK
- FOUND MONUMENT IN CASE
- FOUND SURFACE MONUMENT
- GAS METER
- SIGN
- BOLLARD
- LCL LOCAL LOW POINT
- RIGHT TURN ARROW
- THROUGH ARROW
- HANDICAPPED PARKING SPACE
- CROSSWALK POST DOUBLE BUTTON
- PLANTER AREA
- SANITARY SEWER MANHOLE
- CATCH BASIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- HOSE BIB
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- WATER MANHOLE
- POWER JUNCTION BOX
- STREET LIGHT
- TELECOMMUNICATIONS RISER
- GUY ANCHOR
- UTILITY POLE W/ LIGHT & UNDERGROUND CONDUIT
- UTILITY POLE W/ LIGHT, UNDERGROUND CONDUIT & TRANSFORMER
- UTILITY POLE W/ TRANSFORMER & UNDERGROUND CONDUIT
- UTILITY POLE
- POWER VAULT
- 12"D DECIDUOUS
- 12"M MAPLE
- CONCRETE PAVING
- ASPHALT PAVING
- BUILDINGS
- BRICK PAVING
- STORM DRAIN LINE
- OVERHEAD POWER LINE
- STORM/SANITARY SEWER LINE
- GUARD RAIL LINE
- STORM DRAIN LINE
- STORM/SANITARY SEWER LINE
- GAS
- WATER LINE (PER ARCHIVED GOOGLE MAP IMAGES)

ALTA NOTES

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES NAMED HEREIN. RIGHTS TO RELY ON OR USE THIS SURVEY DO NOT EXTEND TO ANY UNNAMED PARTY WITHOUT EXPRESS RECERTIFICATION BY AXIS SURVEYING AND MAPPING AND THE PROFESSIONAL SURVEYOR WHOSE STAMP IS SHOWN ON THIS SURVEY.

THIS PROPERTY HAS LEGAL ACCESS TO SOUTH 2ND STREET, WEST GATES STREET, SOUTH 3RD STREET AND MYRTLE STREET FOR VEHICLE ACCESS SHOWN HEREON AS PUBLIC RIGHT-OF-WAY.

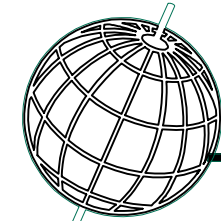
SURVEY BASED ON TITLE REPORT FROM CHICAGO TITLE INSURANCE COMPANY FILE NO. 620039445, DATED AUGUST 6TH, 2019 AT 8:00 A.M.

2016 ALTA CERTIFICATION

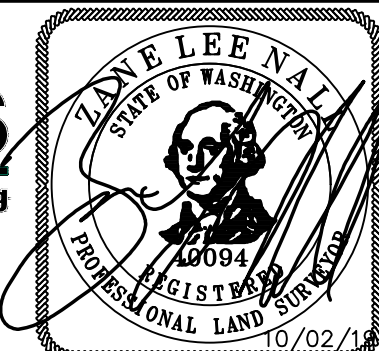
TO THE RPI MT. VERNON, LLC. A WASHINGTON LIMITED LIABILITY COMPANY, BRADFOR HOLDINGS, LLC. AND CHICAGO TITLE INSURANCE COMPANY OF WASHINGTON:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 6a, 7a, 8 & 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 15TH, 2019. DATE OF PLAT OR MAP: AUGUST 21, 2019.

ZANE L. NALL, PLS
REGISTRATION NUMBER: 40094



Axis
Survey & Mapping
15241 NE 90TH ST
REDMOND, WA 98052
TEL. 425.823-5700
FAX 425.823-6700



PACLAND

6814 GREENWOOD AVE N.
SEATTLE, WA 98103

ALTA/NSPS LAND TITLE SURVEY

RPI MT. VERNON, LLC

TPN: P52078, P52079, P52080, P52081 & P52082

www.axismap.com

JOB NO.
19-135

DATE
10/02/19DRAWN BY
ERMCHECKED BY
ZLN

SCALE
1" = 20'

SHEET
1 OF 1

BASIS OF BEARINGS

BASIS OF BEARINGS NORTH 19°41'38" EAST ALONG THE MONUMENTED CENTERLINE OF SOUTH SECOND STREET BETWEEN THE GATES STREET ANN MYRTLE STREET.

HORIZONTAL DATUM

NAD '83/11 GPS HxGN SMARTNET

VERTICAL DATUM

NAVD '88 PER GPS WASHINGTON STATE DEPARTMENT OF TRANSPORTATION MONUMENT #2288

BENCHMARKS

ORIGINATING BENCHMARK: WSDOT #2288, A WSHD BRASS DISC, CEMENTED INTO A DRILL HOLE IN THE CONCRETE SIDEWALK AND LEVEL WITH SURFACE. ELEVATION: 42.38'

TEMPORARY BENCHMARKS:

TBM 'A' USED EXISTING MONUMENT IN CASE LOCATED AT THE INTERSECTION OF MYRTLE STREET AND S. 2ND STREET. ELEVATION: 25.79'

TBM 'B' USED EXISTING MONUMENT IN CASE LOCATED AT THE INTERSECTION OF MYRTLE STREET AND S. 2ND STREET. ELEVATION: 26.63'

TBM 'C' SET PK NAIL & WASHER, NEAR NORTHWESTERLY PORTION OF SITE, 3.30' WESTERLY OF FACE OF VERTICAL CURB IN PARKING LOT & 7.30' NORTH OF CB 1765. ELEVATION: 25.94'

LEGAL DESCRIPTION

LOTS 1, 2, 5, 6, 7 AND 8, BLOCK 13, MAP OF MOUNT VERNON, GATES 1ST AND 2ND ADDITIONS TO MOUNT VERNON, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 98, RECORDS OF SKAGIT COUNTY, WASHINGTON.

EXCEPT THE EASTERLY 6 FEET OF LOTS 1 AND 2 AS CONVEYED TO THE CITY OF MOUNT VERNON BY DEED RECORDED UNDER AUDITOR'S FILE NO. 144341;

AND EXCEPT THE WESTERLY 6 FEET OF LOTS 5, 6, 7 AND 8 AS CONVEYED TO THE CITY OF MOUNT VERNON BY DEED RECORDED UNDER AUDITOR'S FILE NO. 144341;

AND LOTS 3 AND 4, BLOCK 13, MAP OF MOUNT VERNON, GATES 1ST AND 2ND ADDITIONS TO MOUNT VERNON, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 98, RECORDS OF SKAGIT COUNTY, WASHINGTON;

EXCEPT THE EAST 10 FEET THEREOF FOR ALLEY, AS CONVEYED TO THE CITY OF MOUNT VERNON, BY DEED RECORDED MARCH 25, 1921 IN BOOK 121 OF DEEDS, PAGE 523.

SITUATED IN SKAGIT COUNTY, WASHINGTON.

NOTES

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON AUGUST, 2019 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THIS SURVEY DISCLOSES FACTORS OF RECORD AND ON THE GROUND AFFECTING THE SUBJECT PROPERTY BOUNDARY, BUT IT DOES NOT PURPORT TO LEGALLY RESOLVE RELATED PROPERTY LINE DISPUTES. WHERE AMBIGUITIES ARE NOTED, AXIS RECOMMENDS THAT THE OWNER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL PROPERTY LINE DISPUTES.

1' CONTOURS INTERVAL DERIVED FROM DIRECT FIELD OBSERVATION.

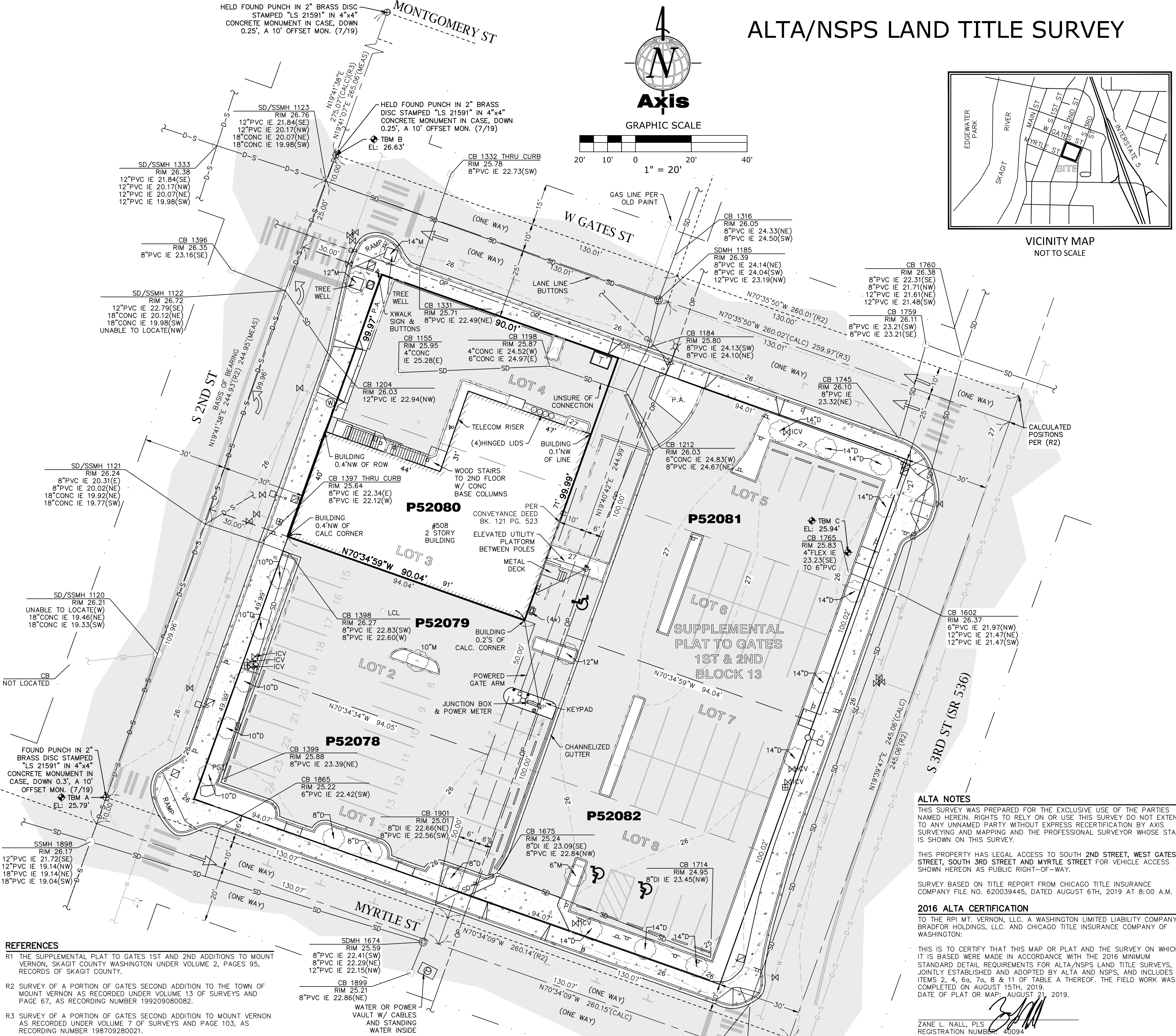
THIS SURVEY MEETS UNITED STATES NATIONAL MAP ACCURACY STANDARDS FOR VERTICAL ACCURACY OF ONE HALF THE CONTOUR INTERVAL.

TABLE A ITEMS

- TAX PARCELS & ADDRESSES
 - P52078 220 MYRTLE STREET
 - P52079 220 MYRTLE STREET
 - P52080 508 S. 2ND ST.
 - P52081 GATES STREET
 - P52082 S. 3RD ST.
- GROSS LAND AREA
 - P52078 4,702 SQ. FT.
 - P52079 4,702 SQ. FT.
 - P52080 9,001 SQ. FT.
 - P52081 9,404 SQ. FT.
 - P52082 9,406 SQ. FT.
 - OVERALL 37,215 SQ. FT.
- CITY OF MOUNT VERNON CLASSIFIES THE PARCELS UNDER THE C-1 ZONING DESIGNATION AS UPDATED ON 9/12/17.
- EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL AS SHOWN.
- PARKING STALLS
 - P52078 15 STANDARD
 - P52079 9 STANDARD
 - P52080 NO MARKINGS FOUND, ARCHIVED GOOGLE EARTH IMAGES SHOW A MAXIMUM BEST FIT OF 14 STANDARD STALLS & 1 HANDICAPPED STALL
 - P52081 17 STANDARD
 - P52082 15 STANDARD & 1 HANDICAPPED STALL

A OVERALL TOTAL OF 58 PARKING STALLS, 2 OF WHICH ARE HANDICAP ACCESSIBLE. EXCLUDING THE NON MARKED STALLS ON (P52080).

UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON ASBUILT FIELD LOCATION OF EXISTING STRUCTURES, FIELD LOCATION OF UTILITIES BASED ON LOCATOR PAINT MARKINGS AND LOCATIONS BASED ON UTILITY MAPS FROM CITY AND UTILITY DRAWINGS INDICATING REPORTED UTILITY INSTALLATIONS. OTHER UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS MADE TO VERIFY UTILITY ROUTINGS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY SURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN FOR VERIFICATION.



REFERENCES

- R1 THE SUPPLEMENTAL PLAT TO GATES 1ST AND 2ND ADDITIONS TO MOUNT VERNON, SKAGIT COUNTY WASHINGTON UNDER VOLUME 2, PAGES 95, RECORDS OF SKAGIT COUNTY.
- R2 SURVEY OF A PORTION OF GATES SECOND ADDITION TO THE TOWN OF MOUNT VERNON AS RECORDED UNDER VOLUME 13 OF SURVEYS AND PAGE 67, AS RECORDING NUMBER 199209080082.
- R3 SURVEY OF A PORTION OF GATES SECOND ADDITION TO MOUNT VERNON AS RECORDED UNDER VOLUME 7 OF SURVEYS AND PAGE 103, AS RECORDING NUMBER 198709260021.

EQUIPMENT NOTES

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA GS14 GPS/GNSS EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC 1201 TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WACS 332-130-080/090.

REV#	DESCRIPTION OF REVISION	DATE	BY
#1			
#2			
#3			
#4			
#5			

10/2/2019,znall,19135_C3D



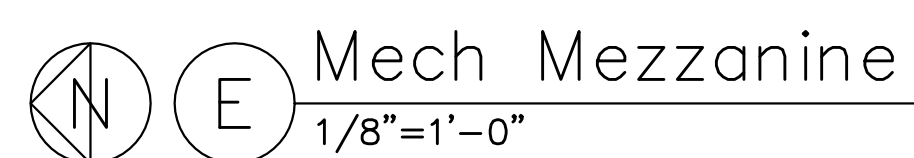
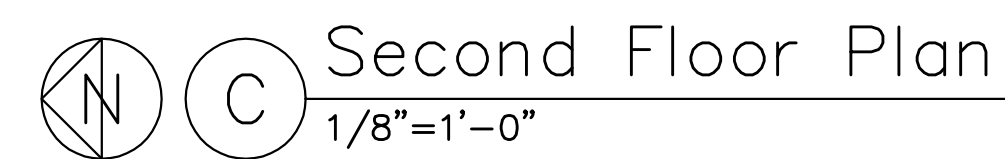
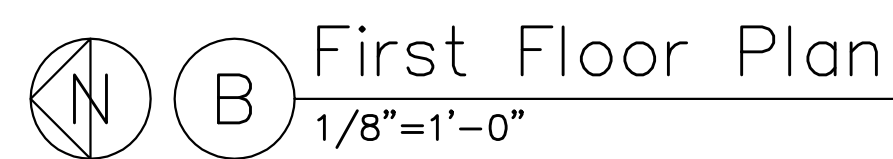
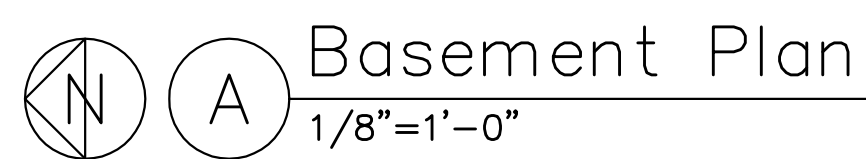
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:






SCHEMATIC
DESIGN
03/12/21

Sheet:

A2



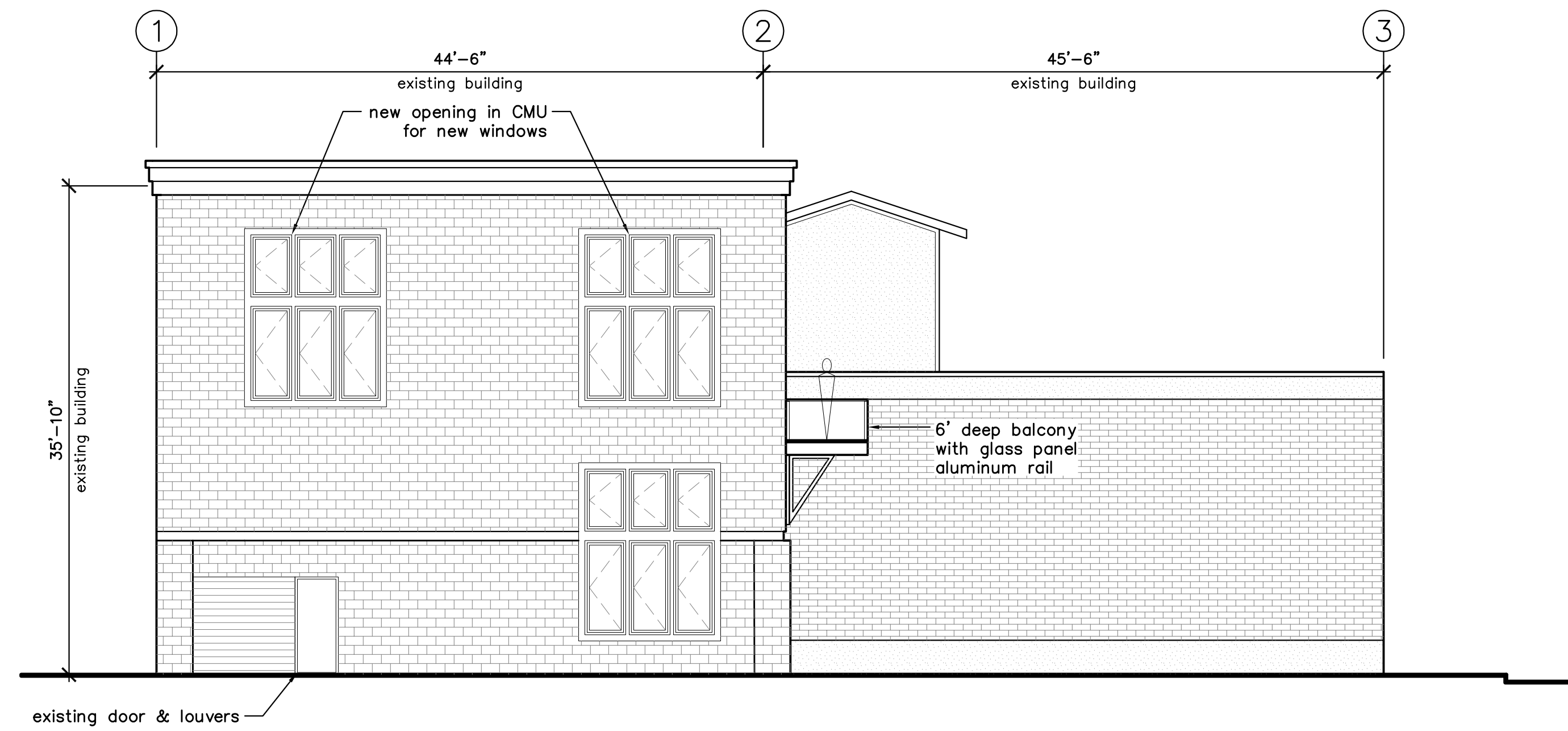
SYMBOLS

	Existing Concrete
	Existing CMU
	Interior Nonbearing Nonrated Partition Wall
	Insulated Nonrated Wall
	1 or 2 hour Fire Barrier

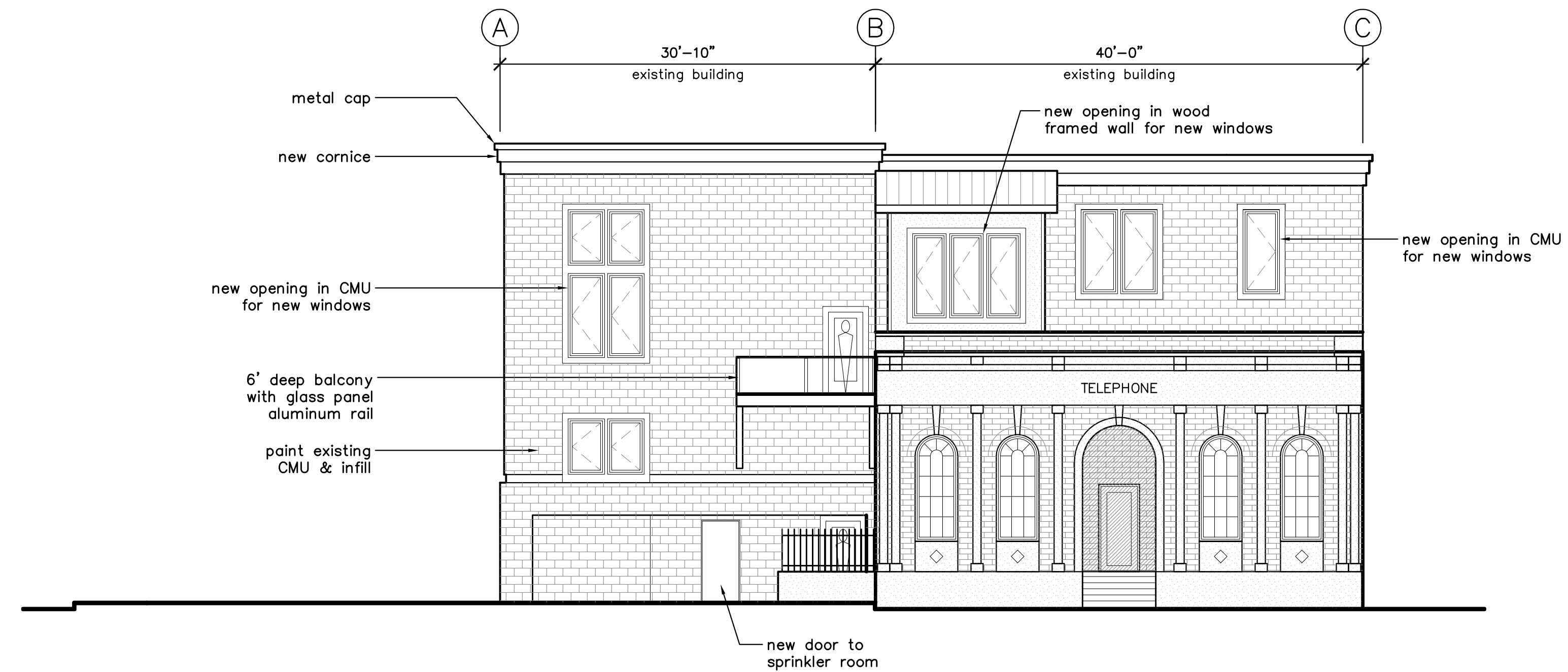
Existing CMU walls to be reinforced with 4-6 inches shotcrete at selected locations to be determined



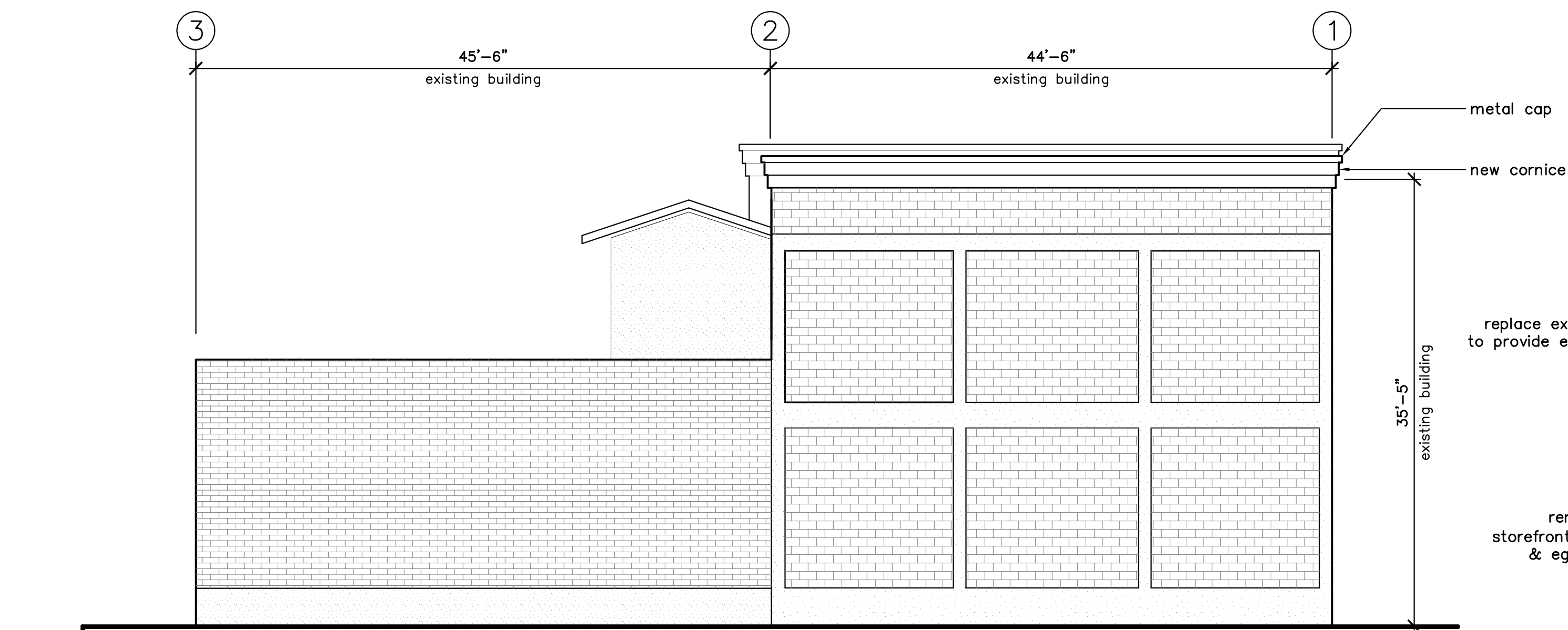
PHASE I



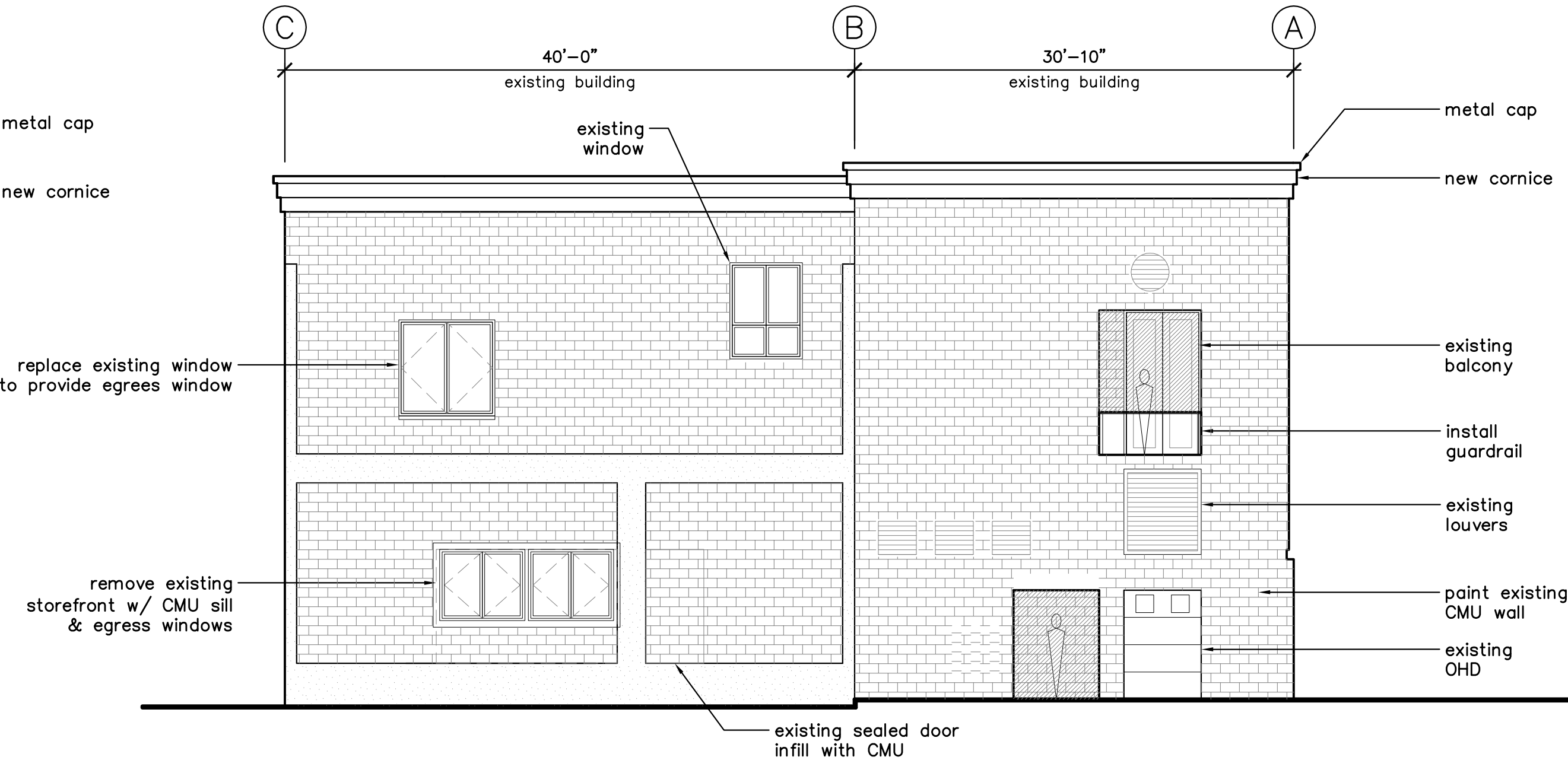
A North Elevation
1/8"=1'-0"



B West Elevation
1/8"=1'-0"

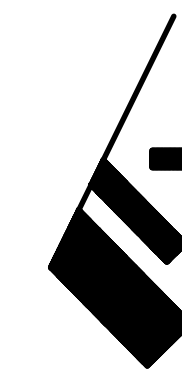


C South Elevation
1/8"=1'-0"



D East Elevation
1/8"=1'-0"

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546



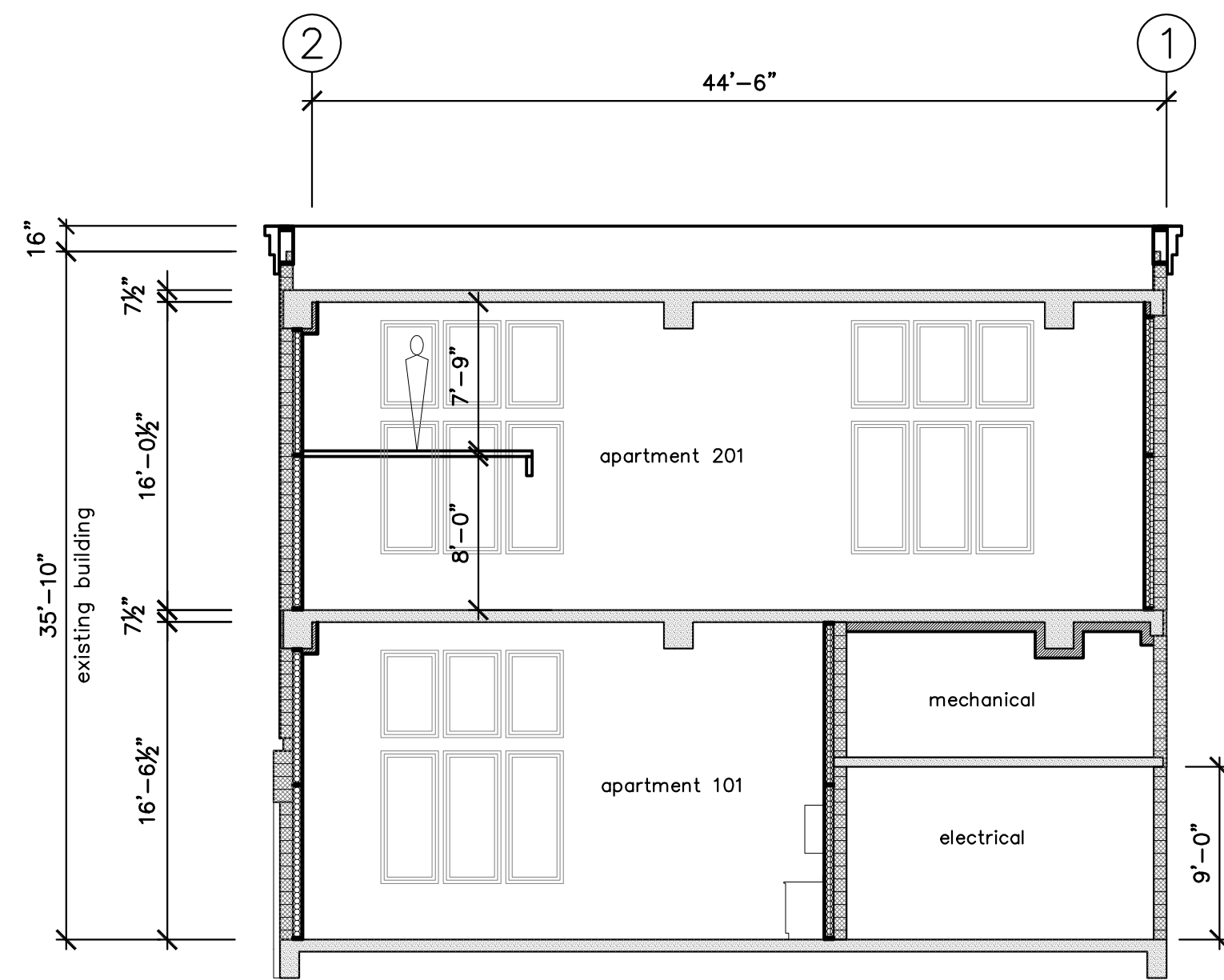
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

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03/12/21

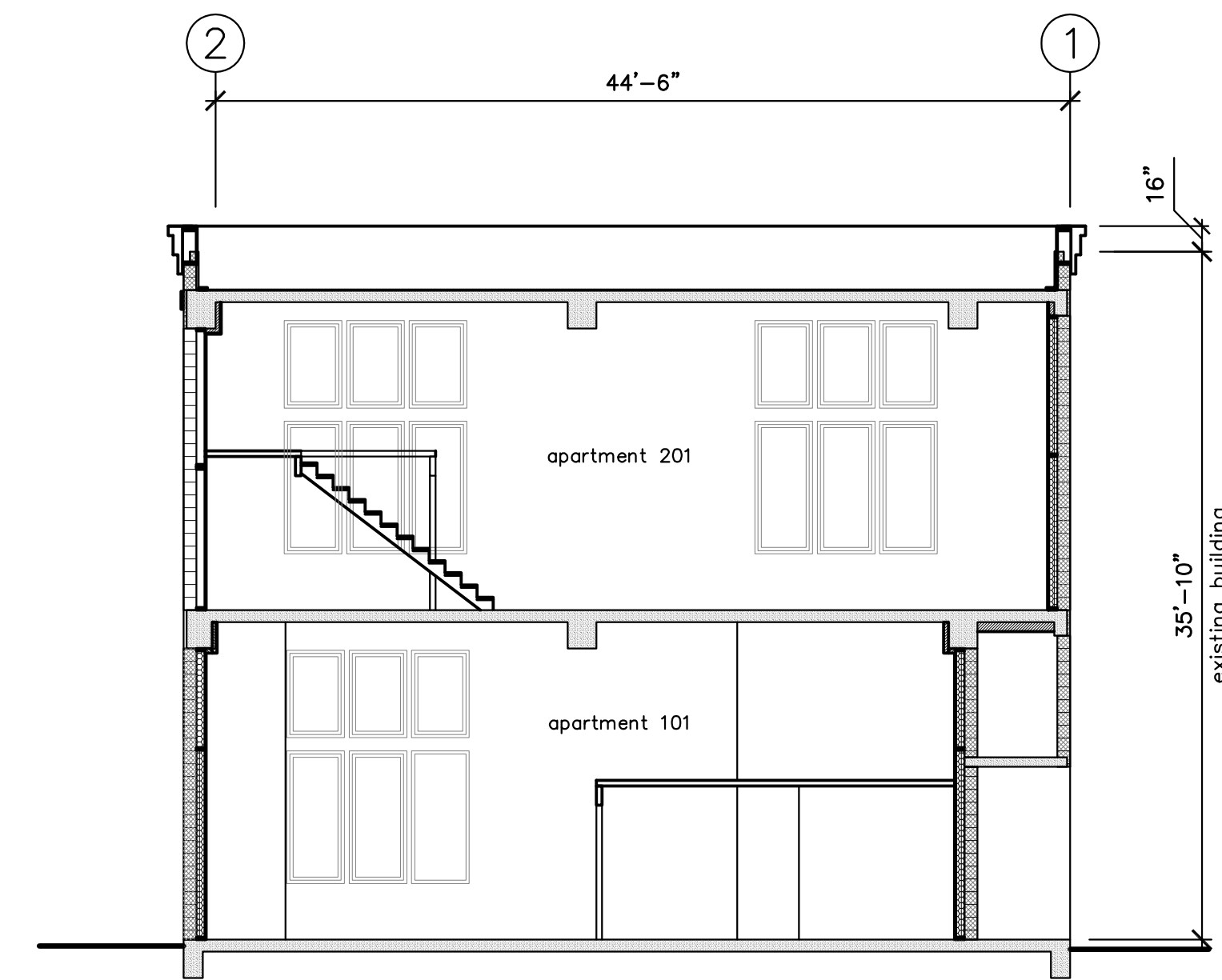
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PHASE I

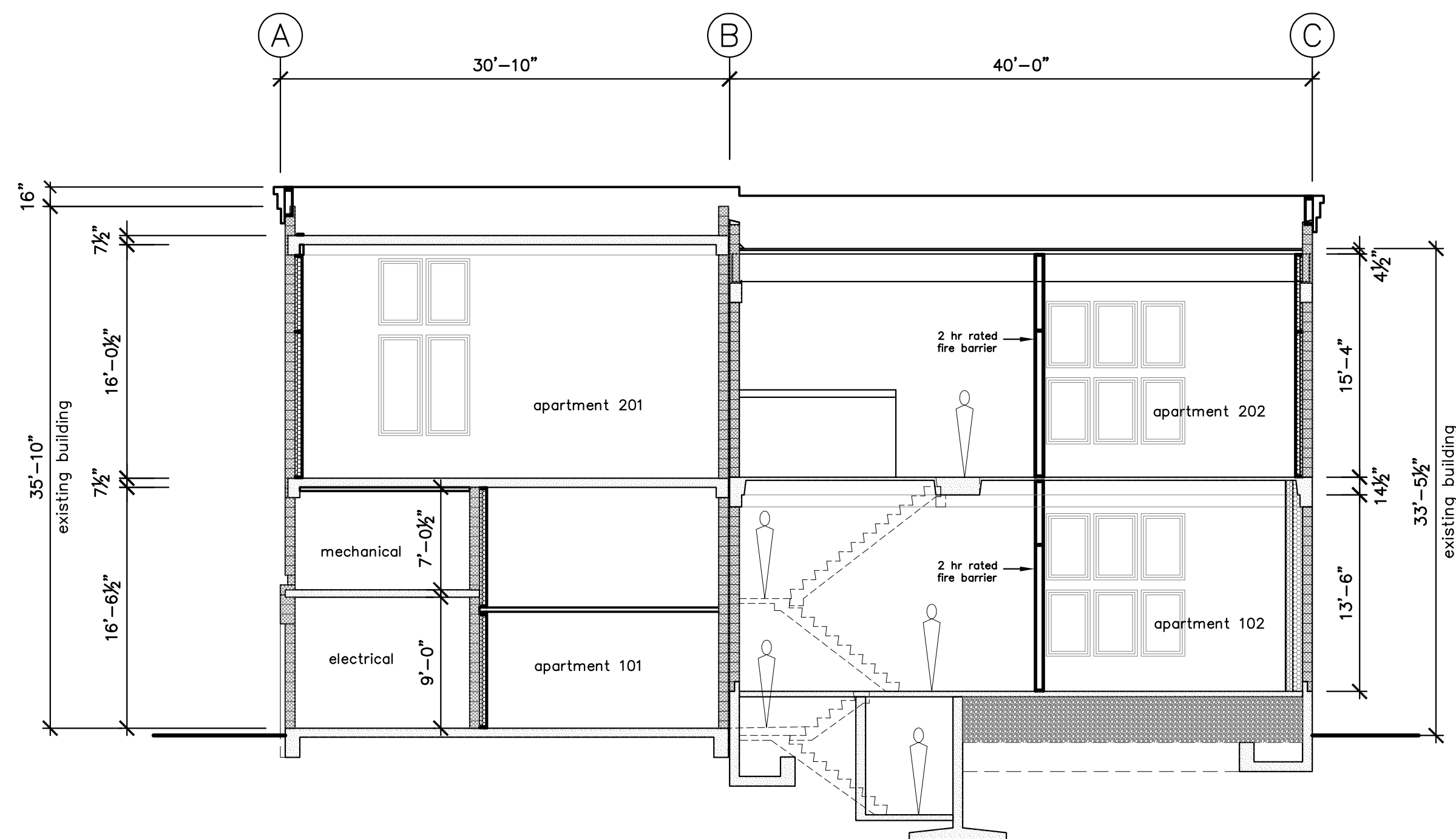
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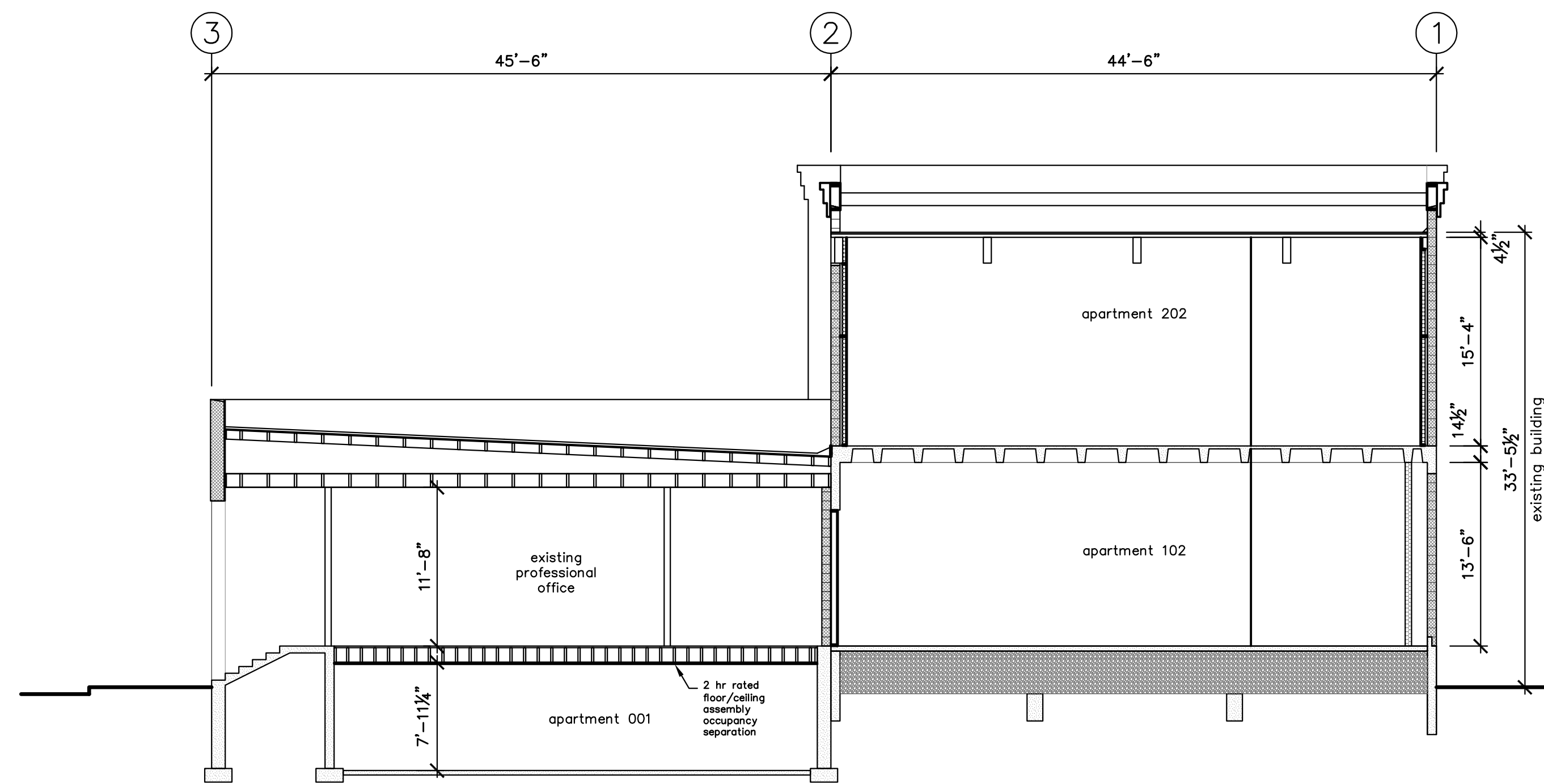
A Building Section
1/8"=1'-0"



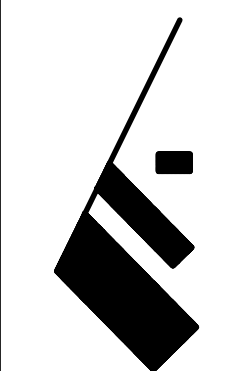
B Building Section
1/8"=1'-0"

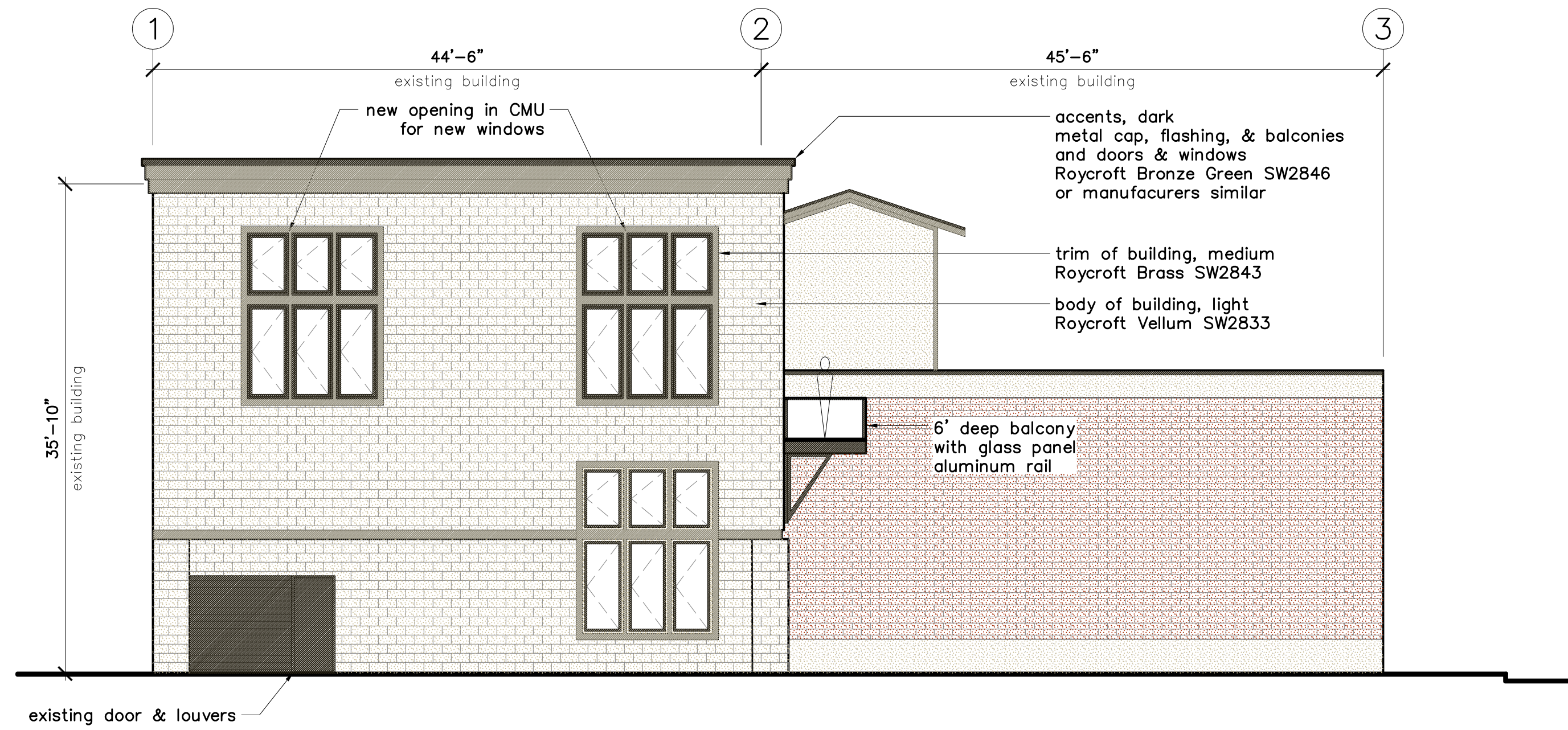


D Building Section
1/8"=1'-0"

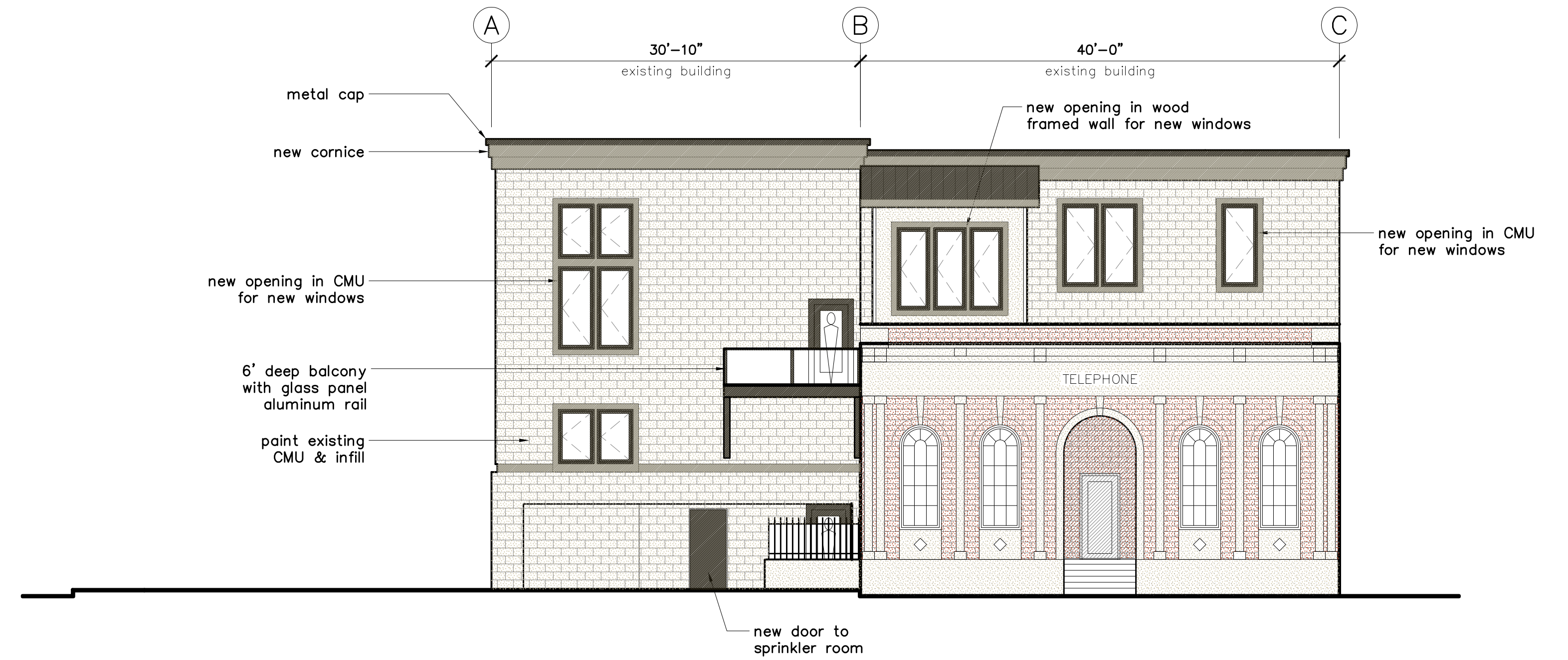


C Building Section
1/8"=1'-0"

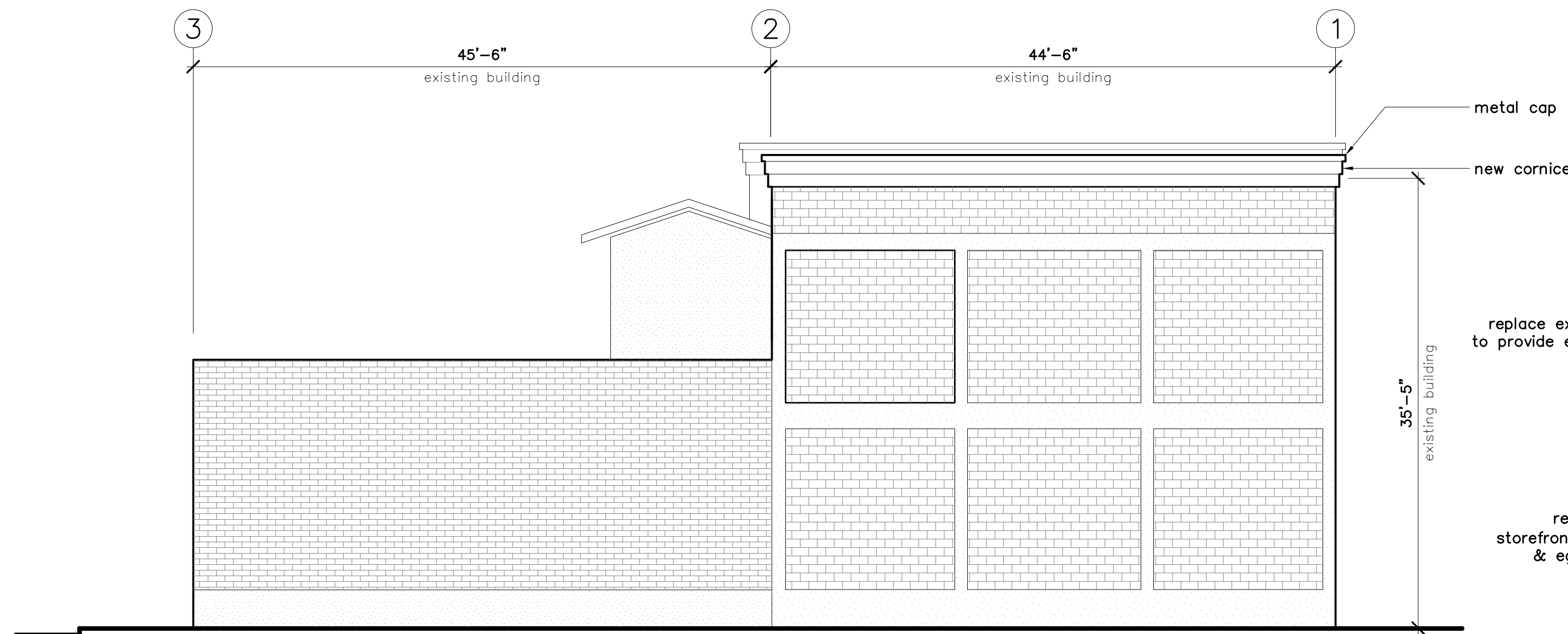




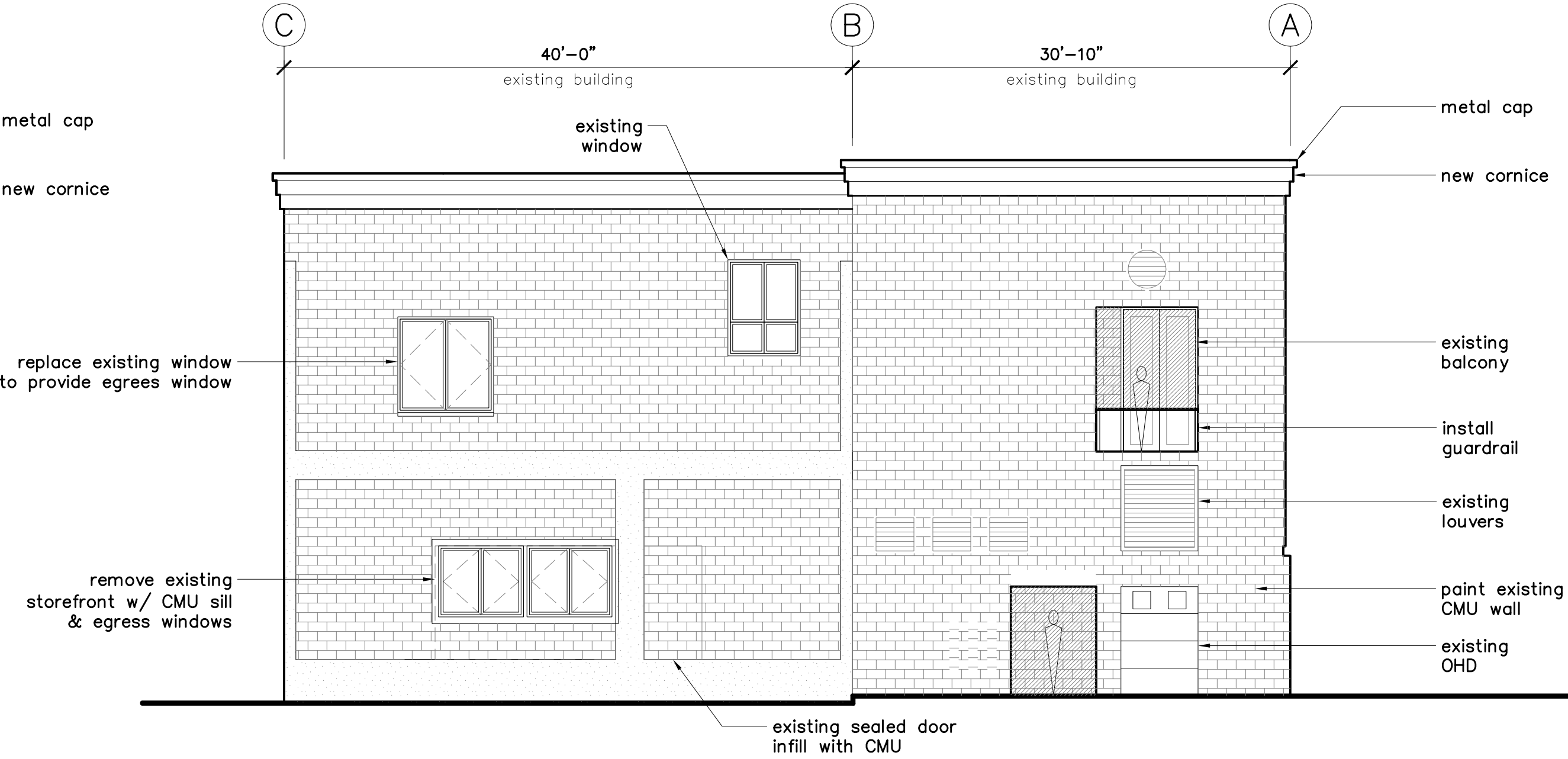
A North Elevation
1/8"=1'-0"



B West Elevation
1/8"=1'-0"

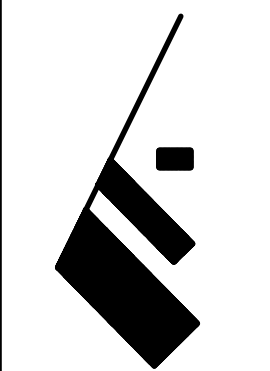


C South Elevation
1/8"=1'-0"



D East Elevation
1/8"=1'-0"

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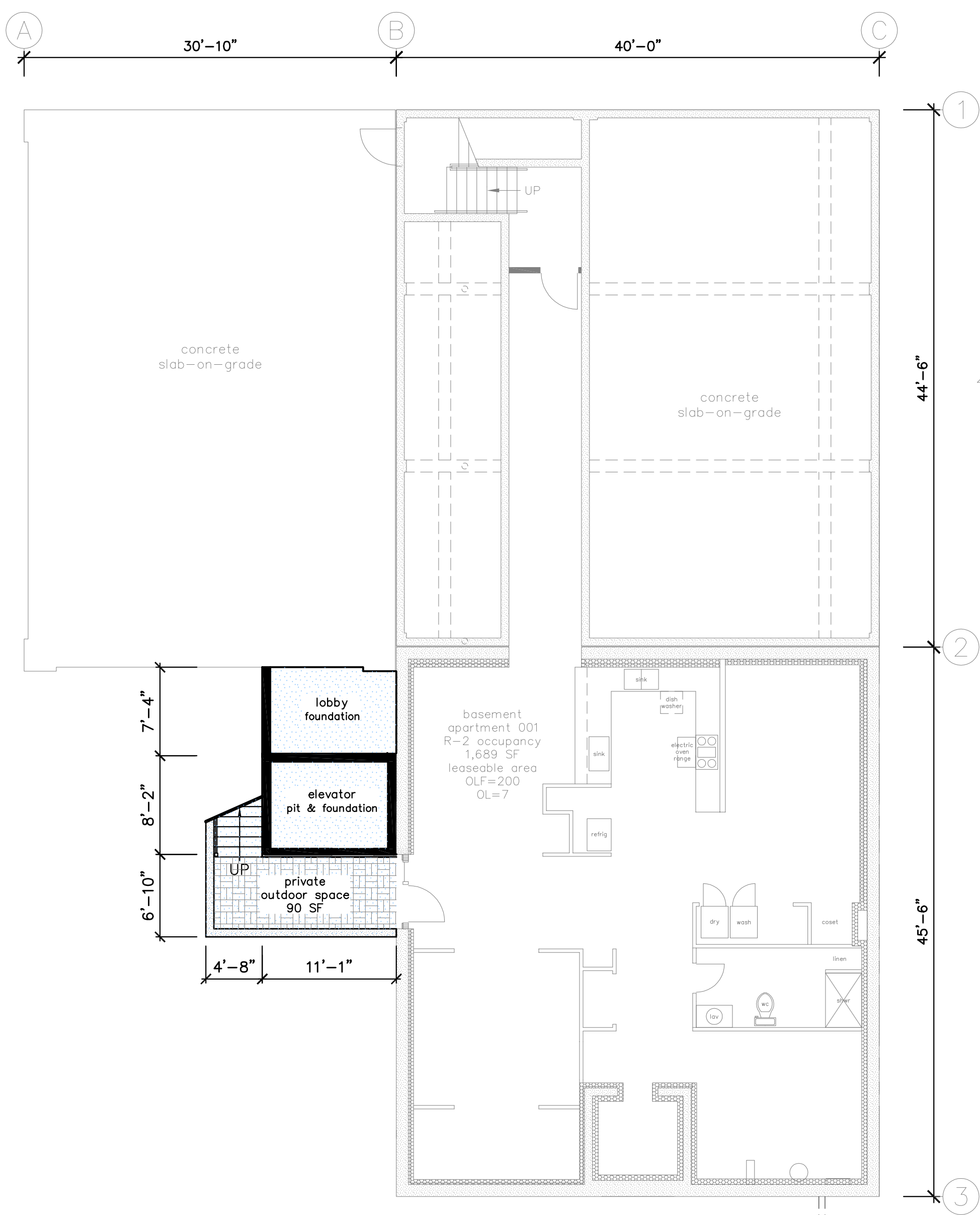
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
SCHEMATIC
DESIGN
03/12/21

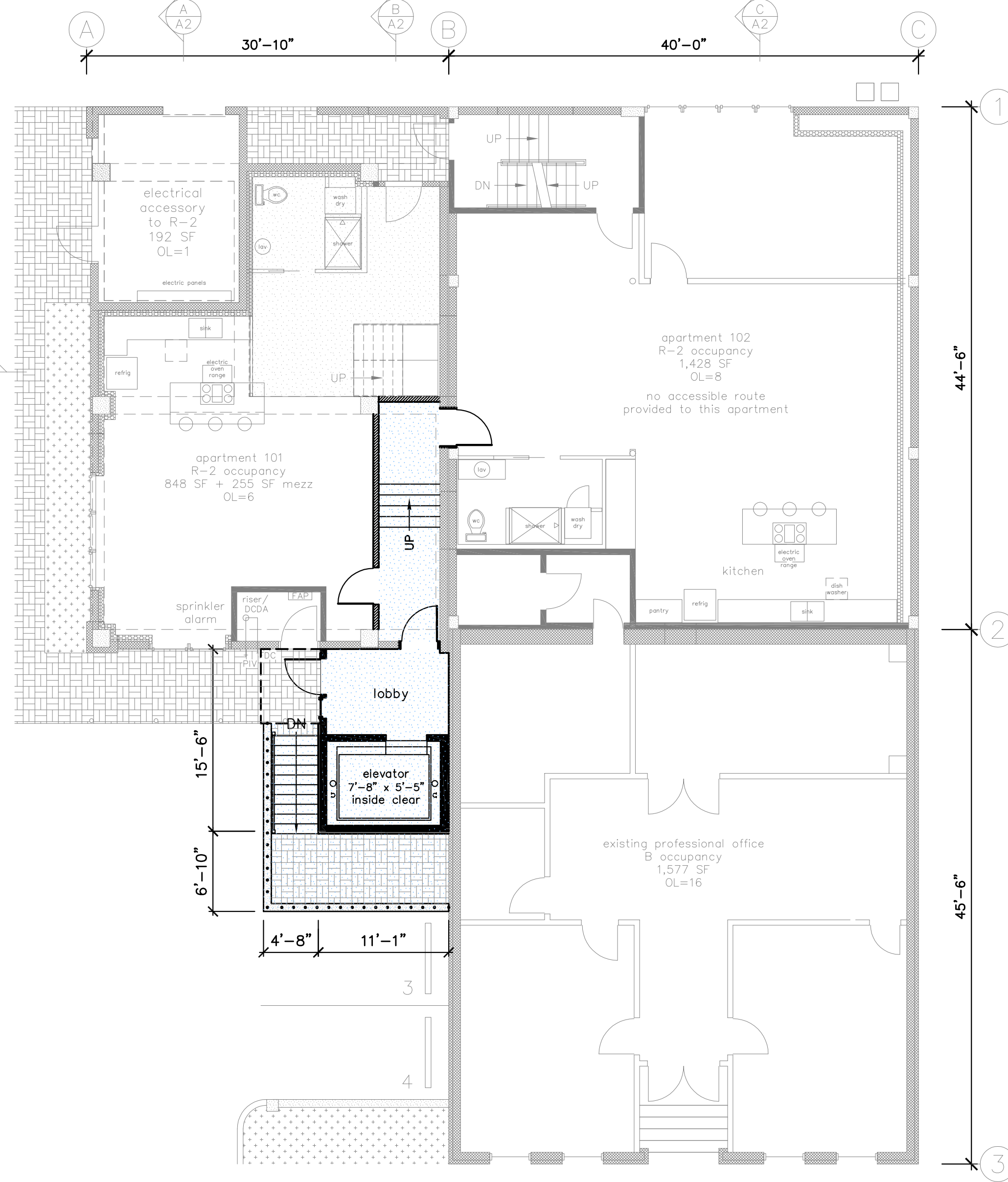
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PHASE I

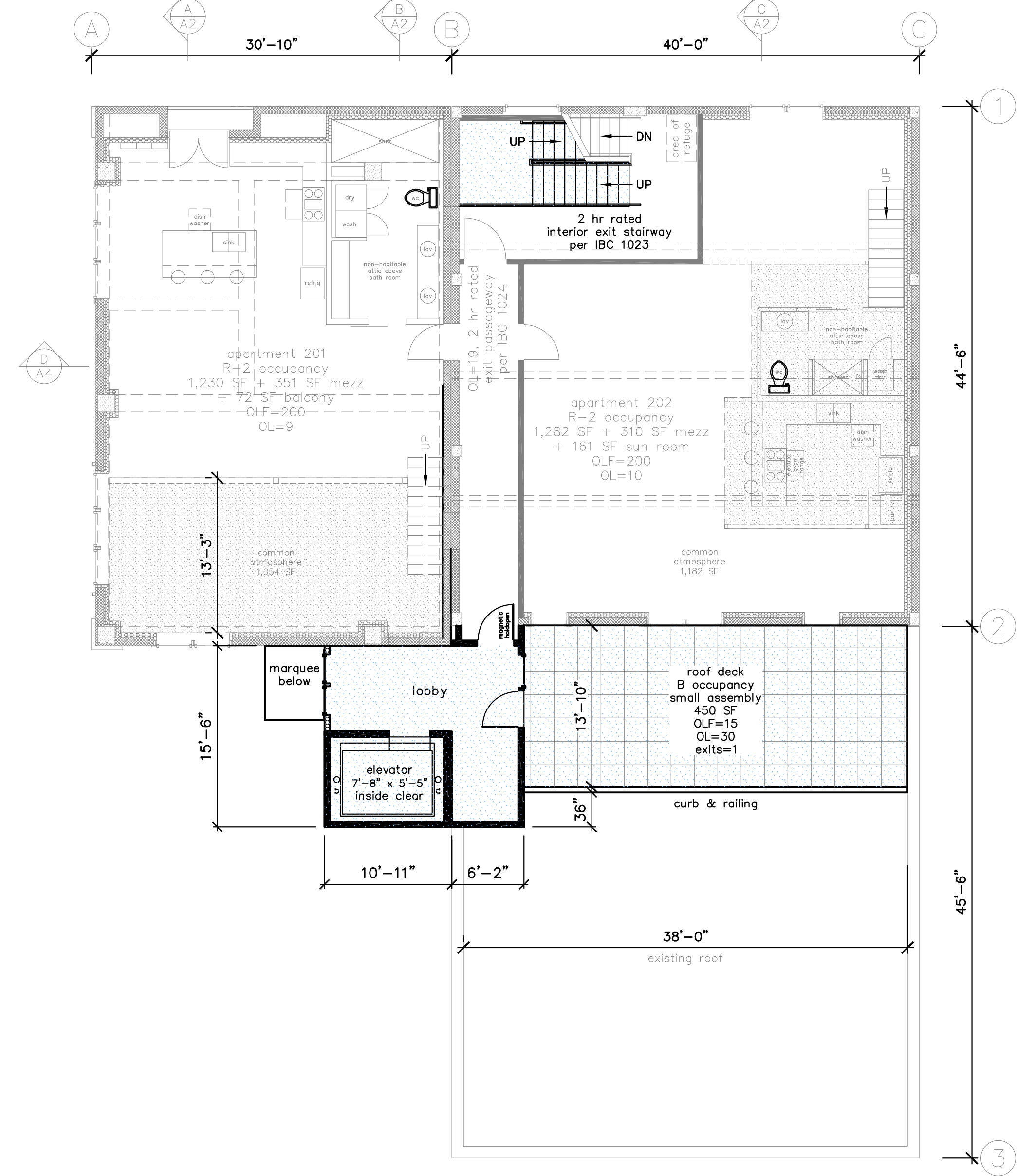
A3



A Basement Plan
1/8"=1'-0"

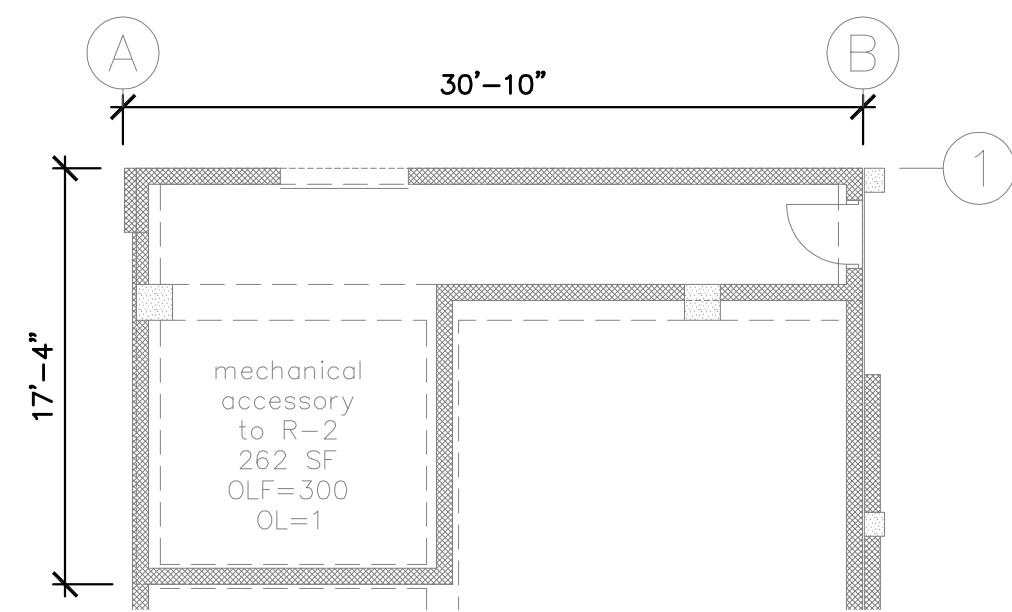


B First Floor Plan
1/8"=1'-0"



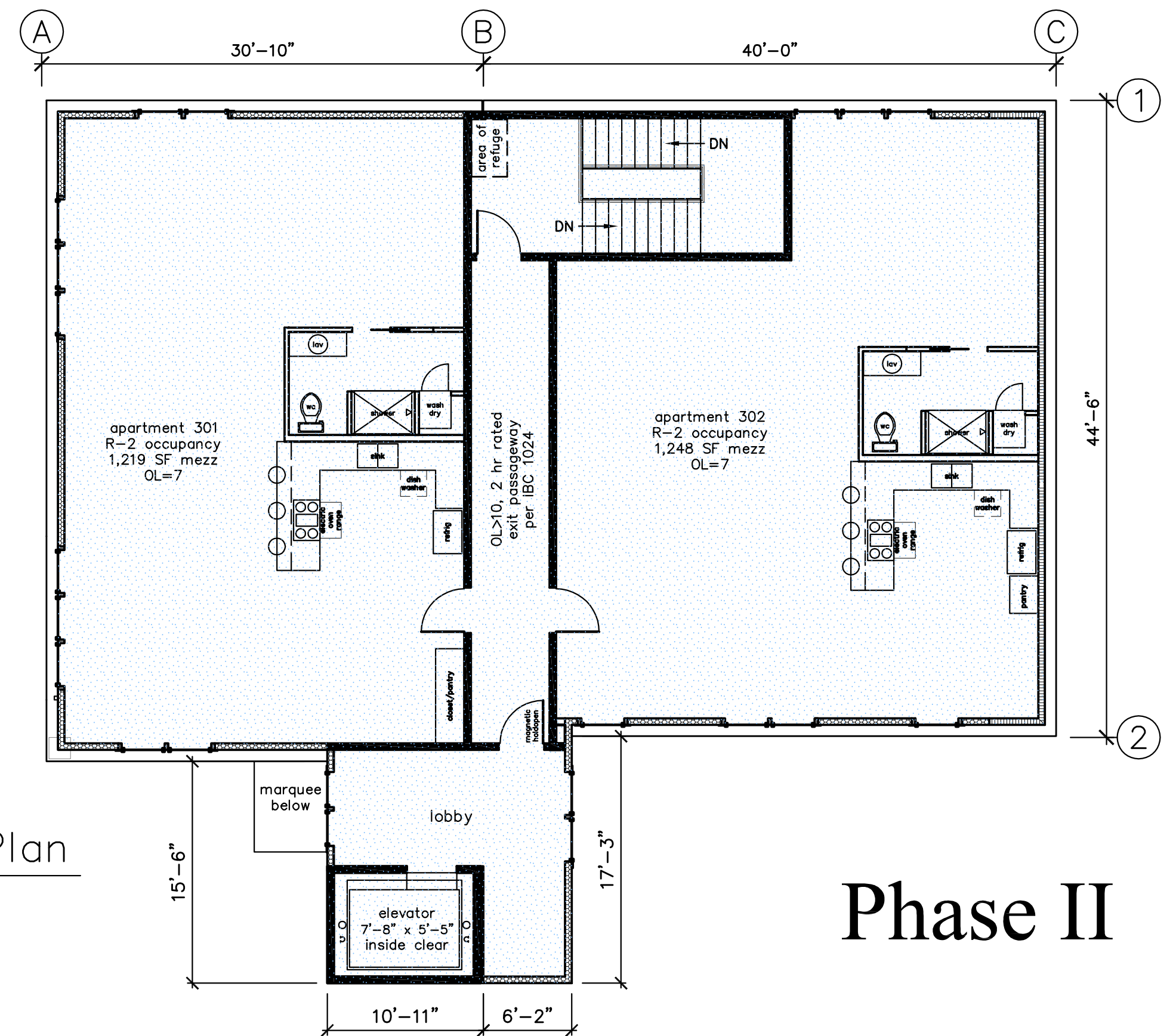
C Second Floor Plan
1/8"=1'-0"

SYMBOLS	
	Extent of PHASE II additions
	Existing Concrete
	Existing CMU
	Interior Nonbearing Nonrated Partion Wall
	30 min Fire Partition
	Insulated Nonrated Wall
	1 or 2 hour Fire Barrier
	1 hour Exterior Wall
Existing CMU walls to be reinforced with 4-6 inches shotcrete at selected locations to be determined	



E Mech Mezzanine
1/8"=1'-0"

D Third Floor Plan
1/8"=1'-0"



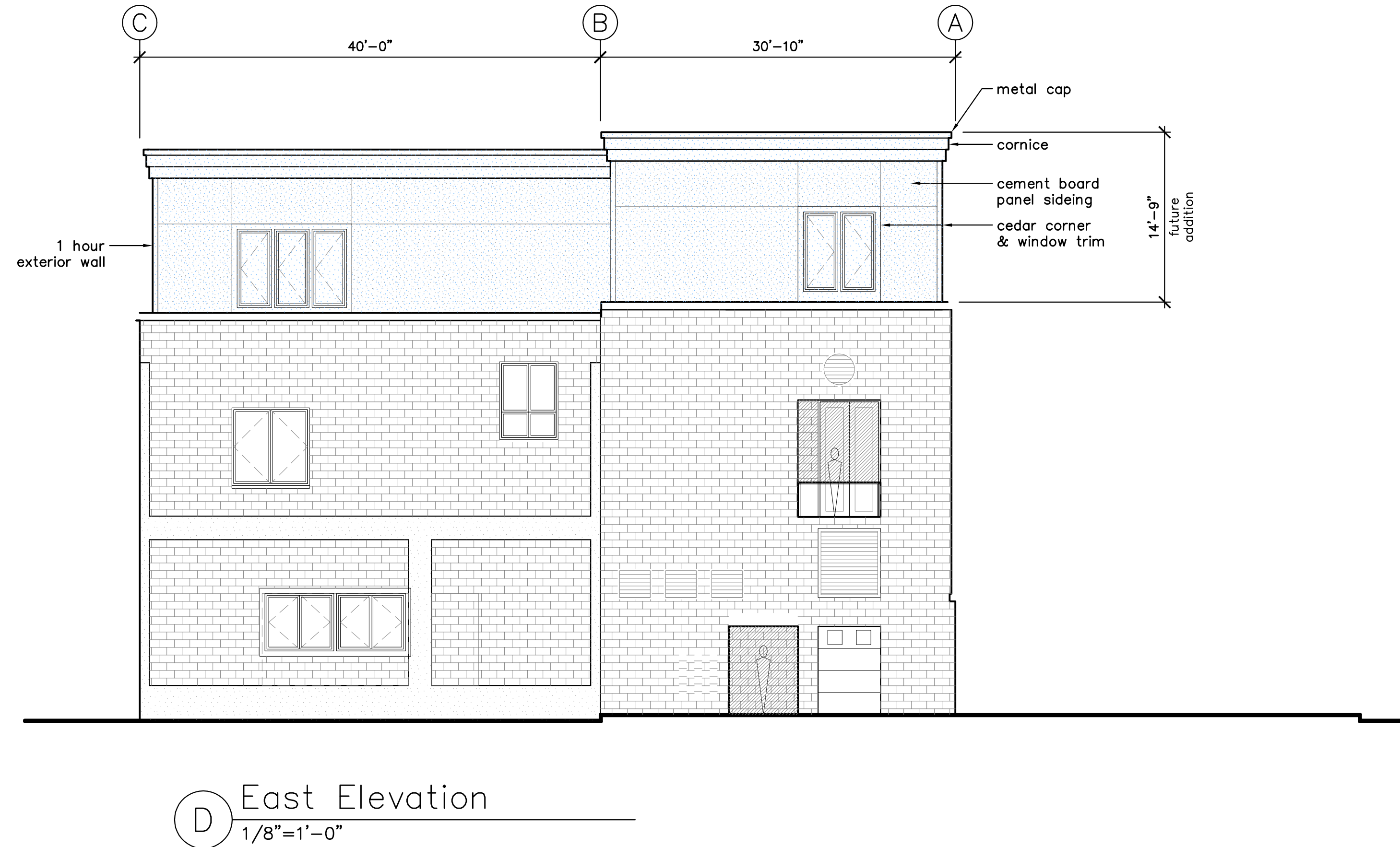
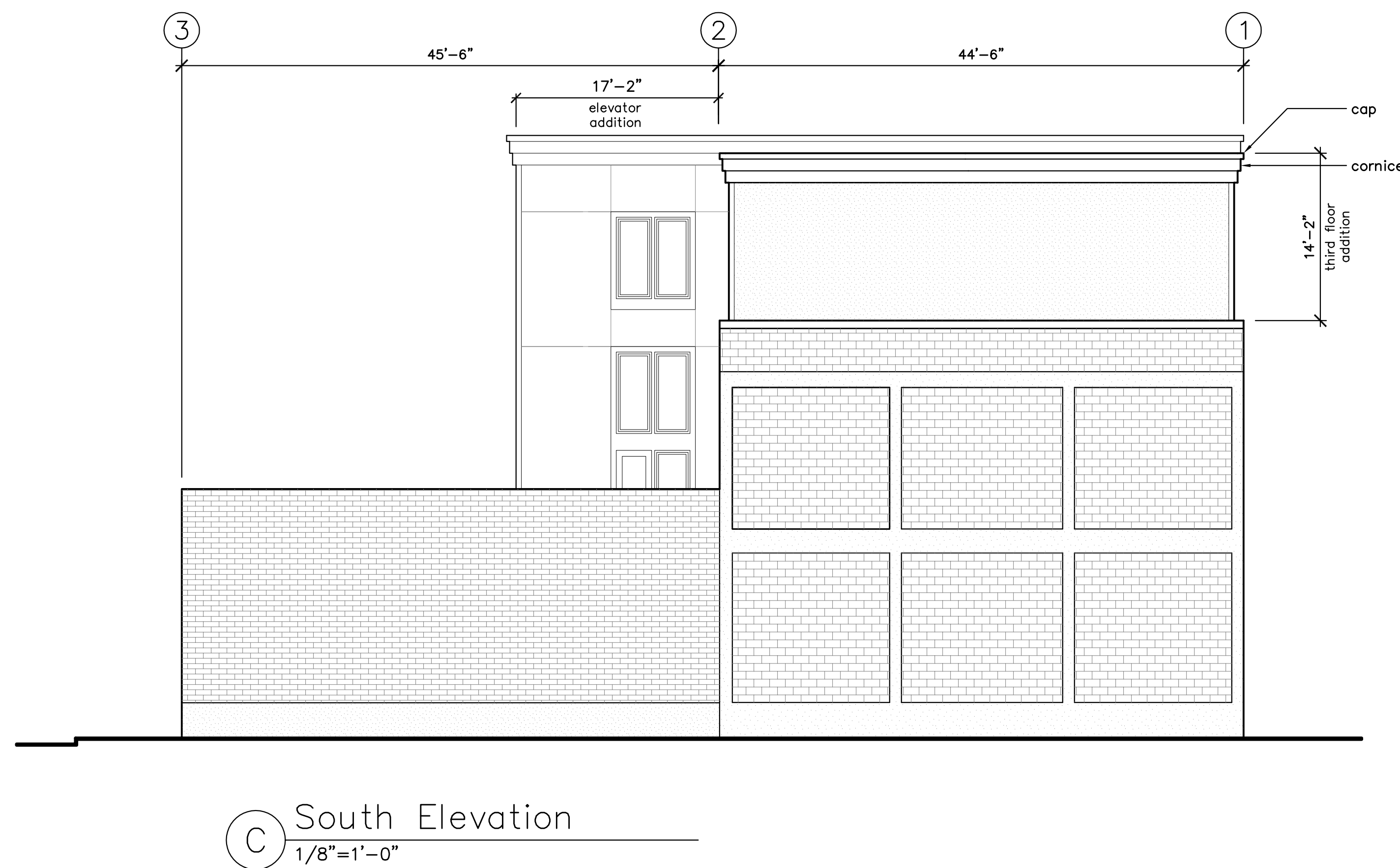
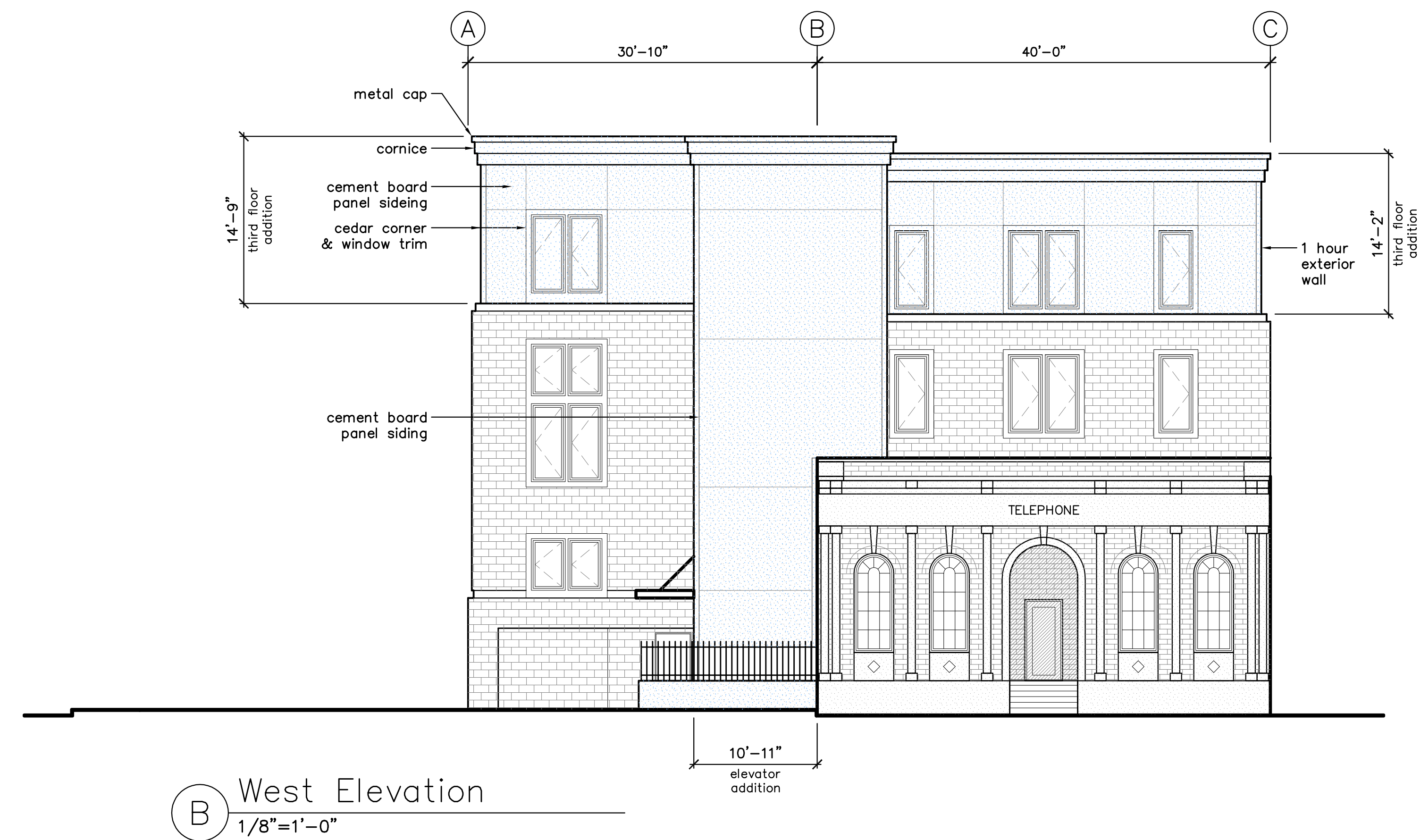
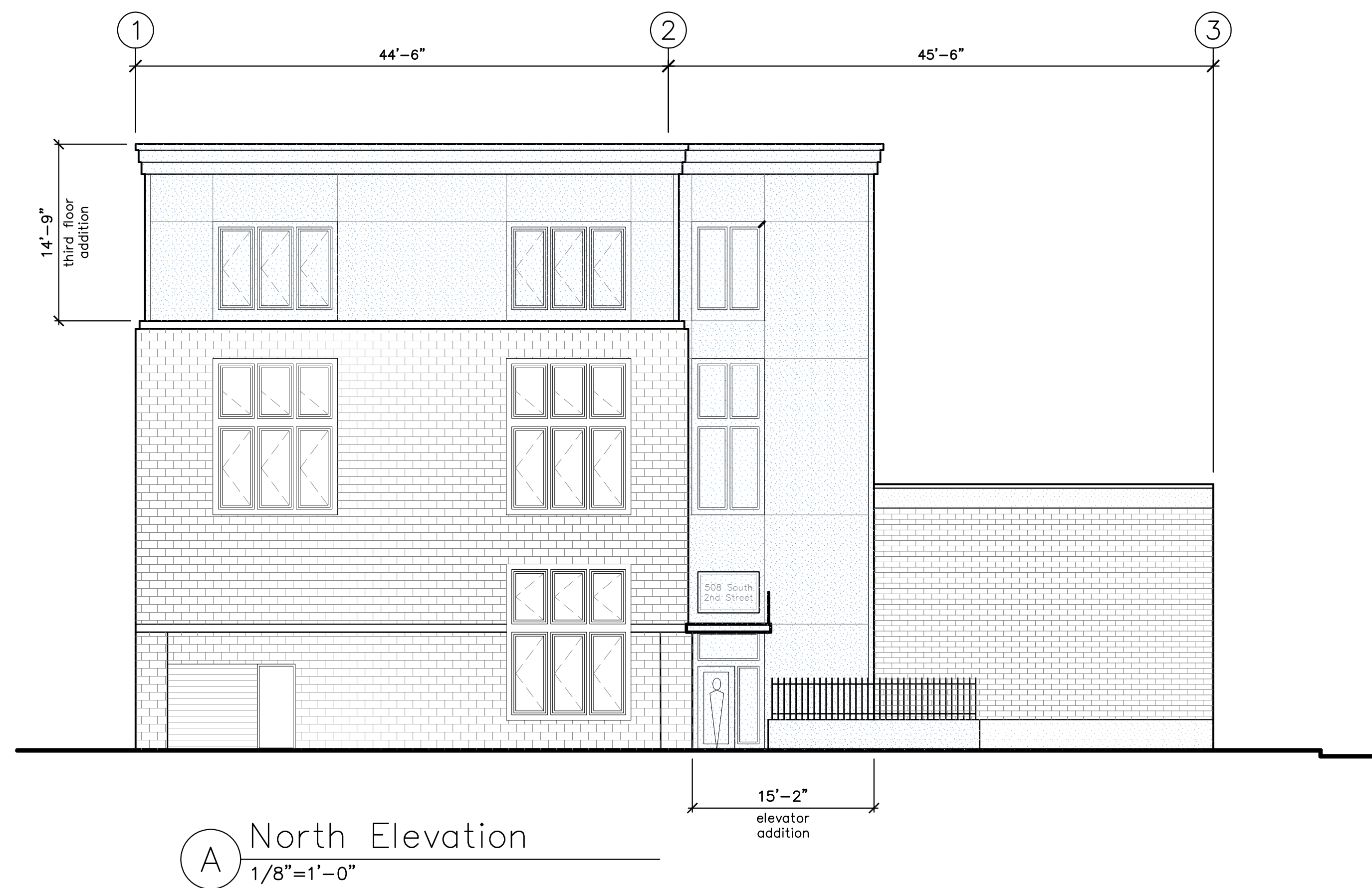
Phase II

Mark E. Christ, Architect
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phone (360) 855-1546

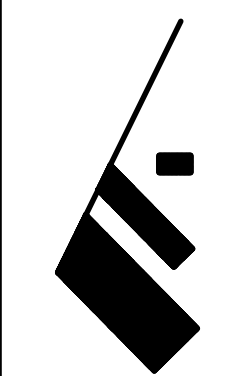
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
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03/12/21

Sheet:
A6



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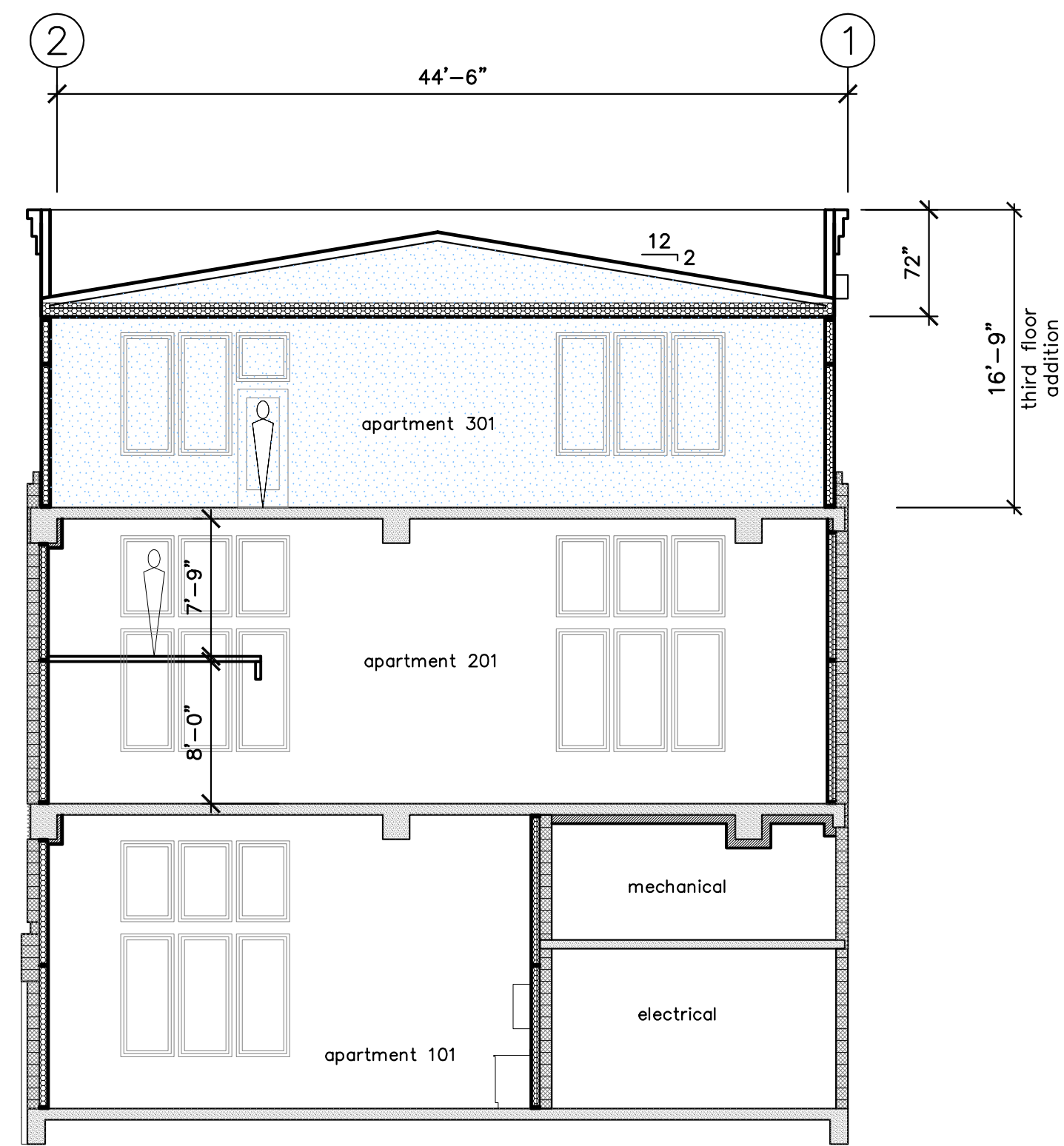
Improvements to 508 2nd Street
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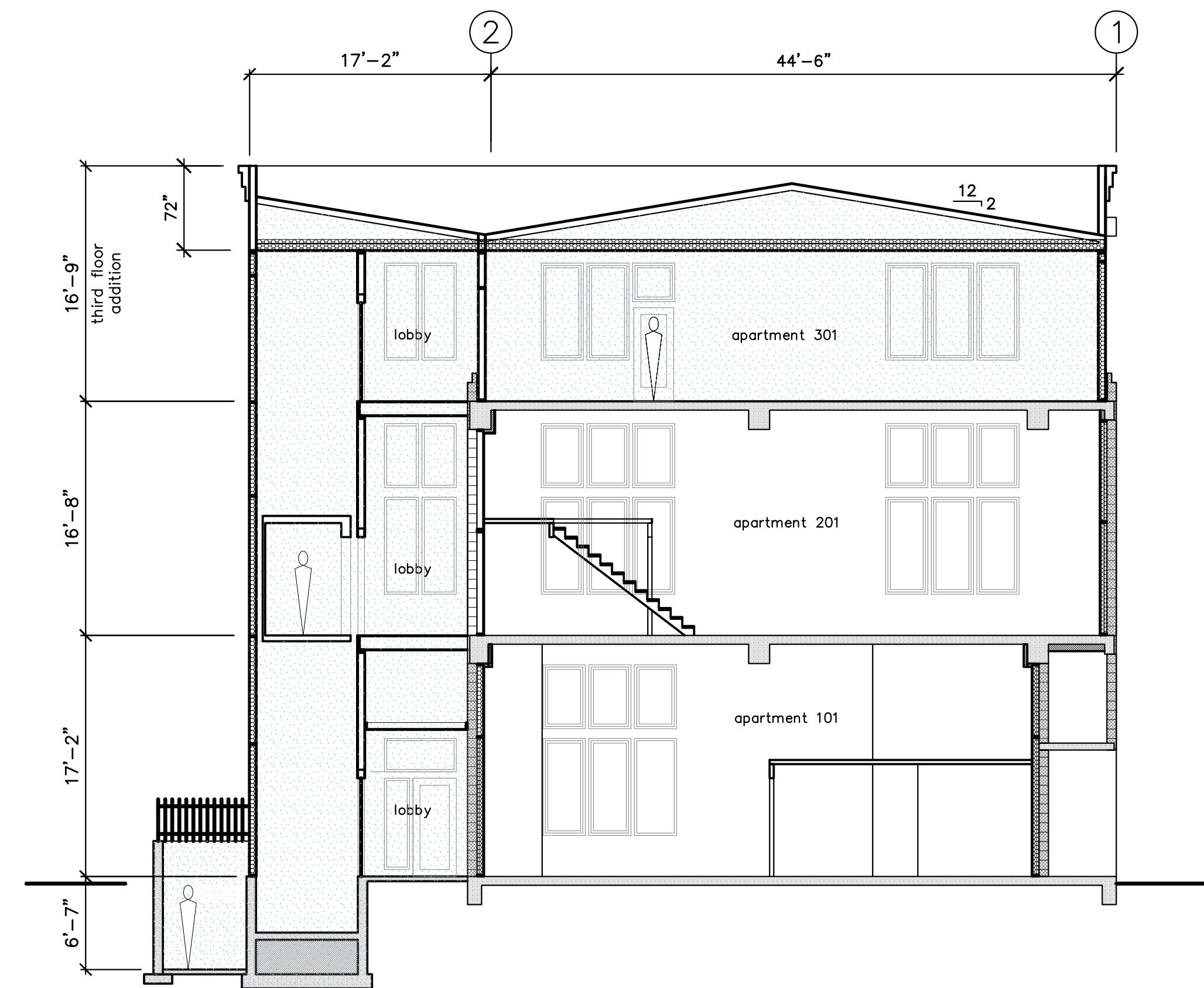
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Phase II

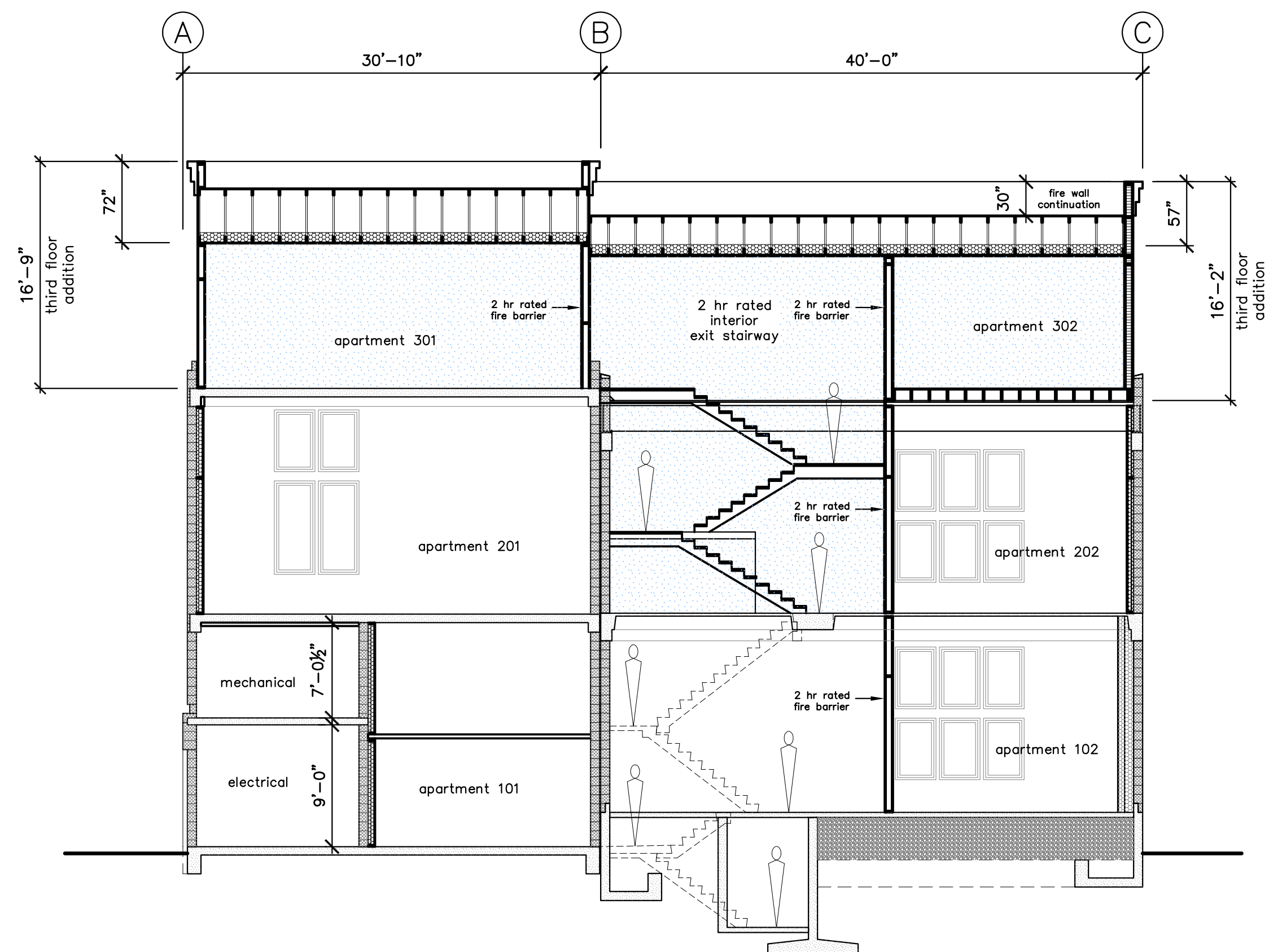
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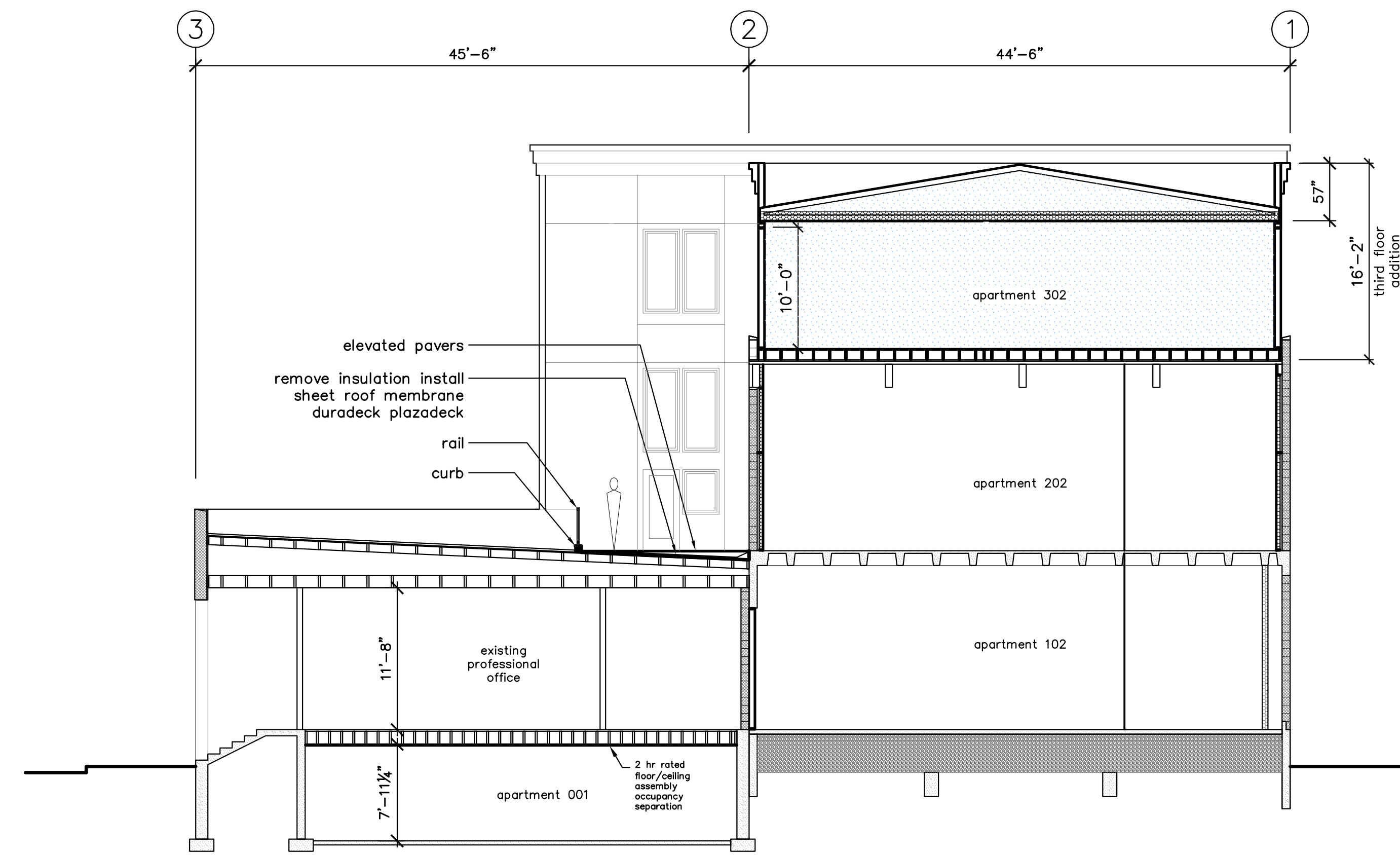
A Building Section
1/8"=1'-0"



B Building Section
1/8"=1'-0"

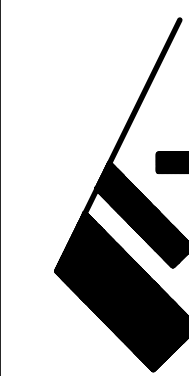


D Building Section
1/8"=1'-0"



C Building Section
1/8"=1'-0"

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
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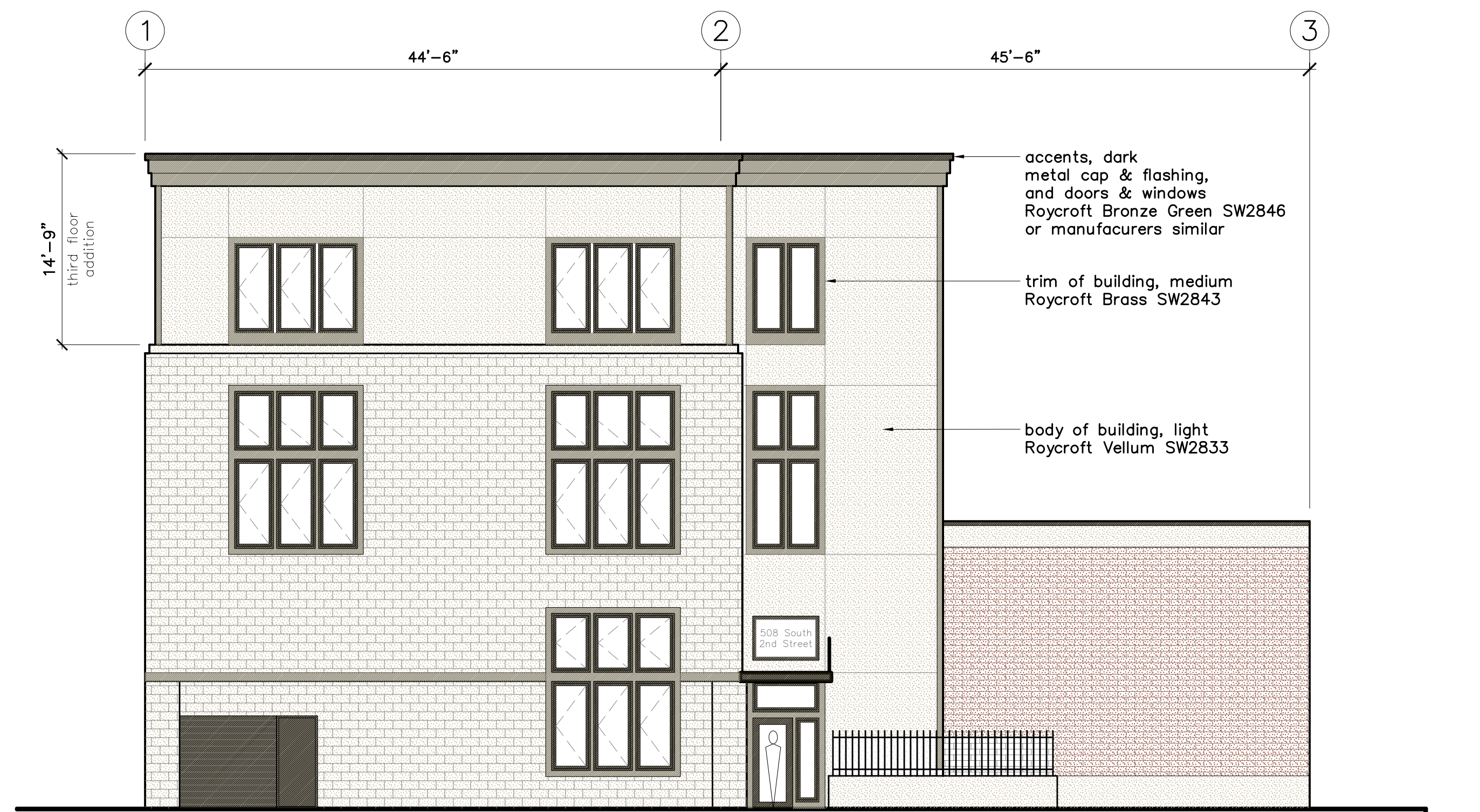
Improvements to 508 2nd Street
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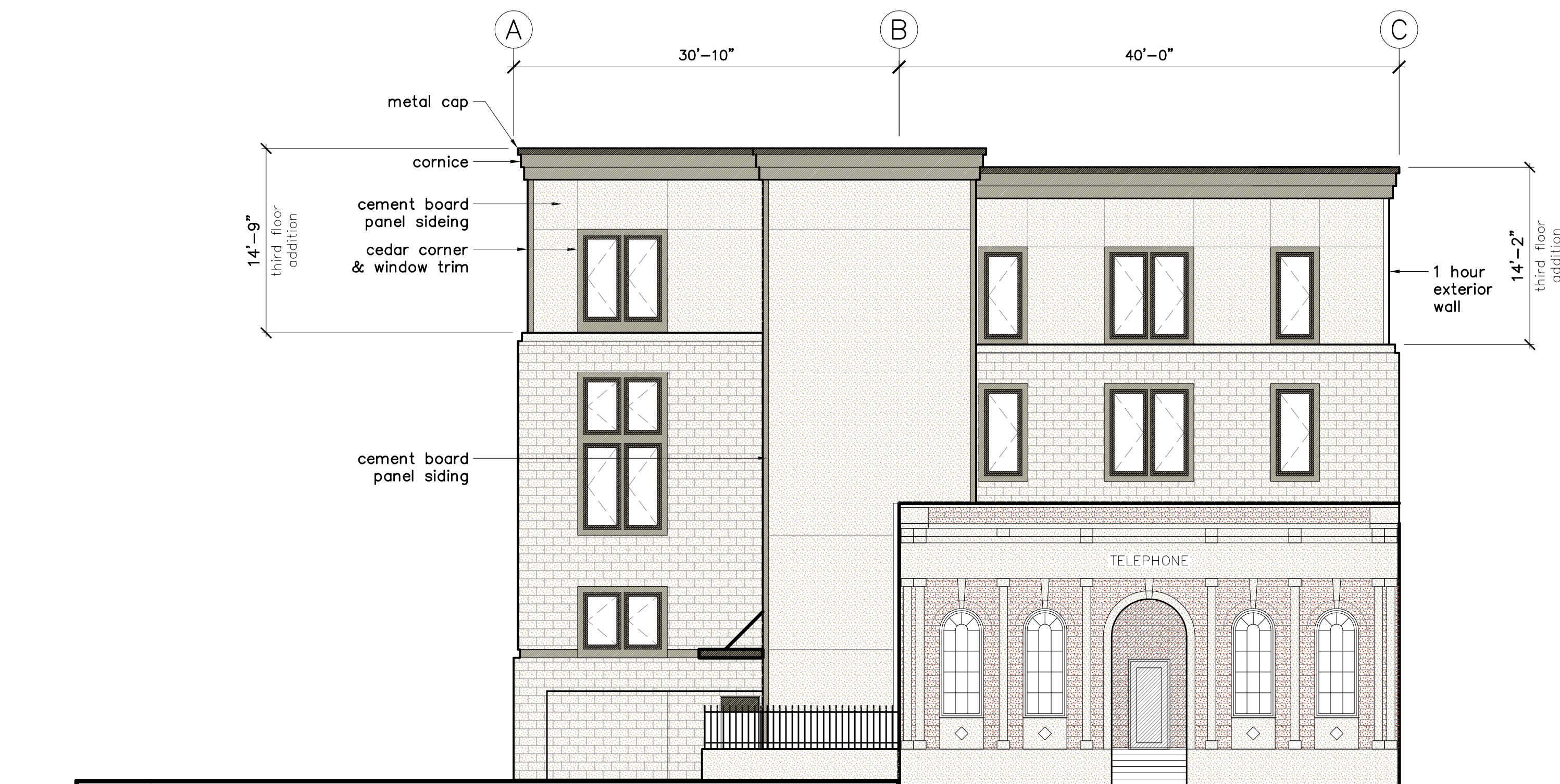
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Phase II

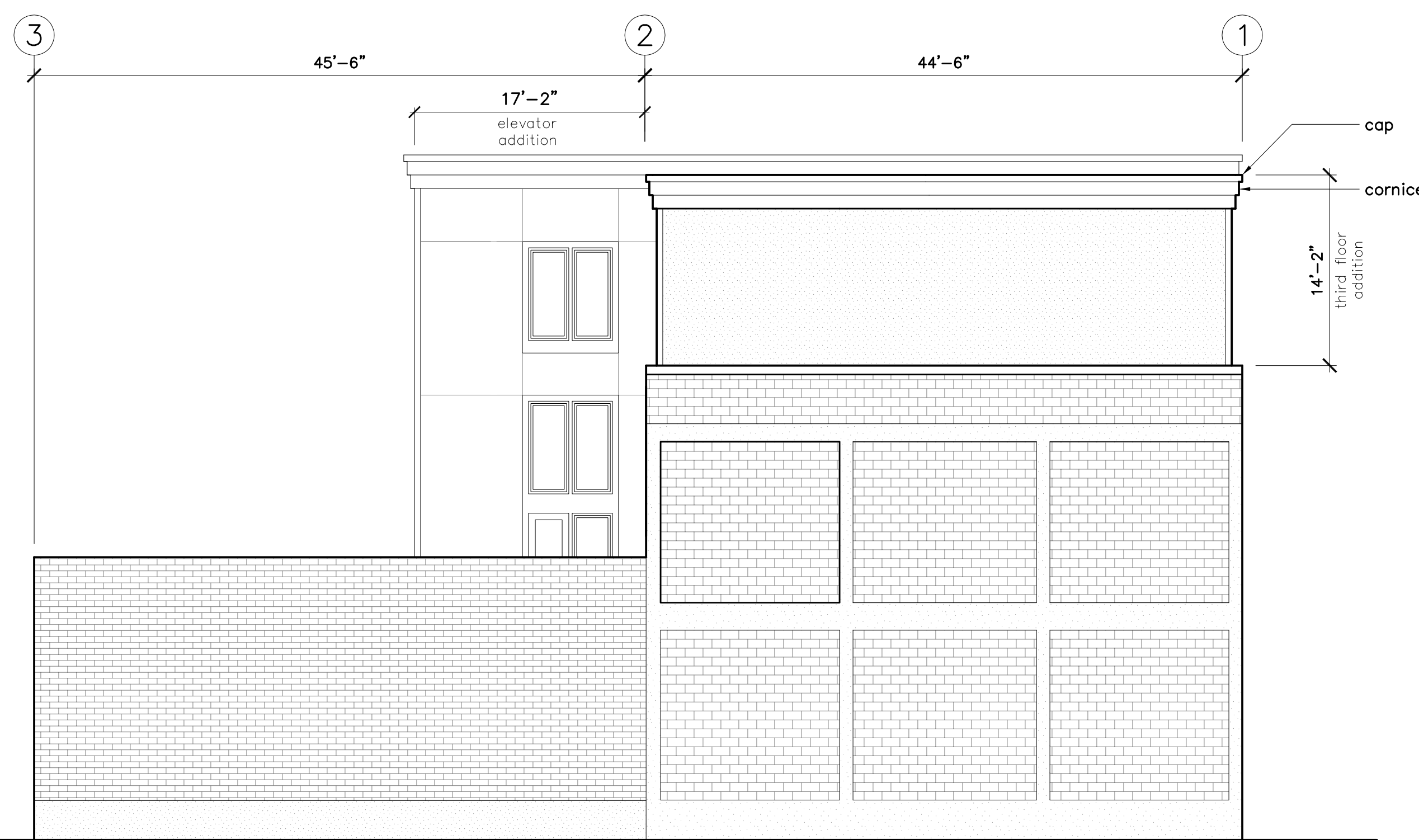
A8



A North Elevation
1/8"=1'-0"



B West Elevation
1/8"=1'-0"



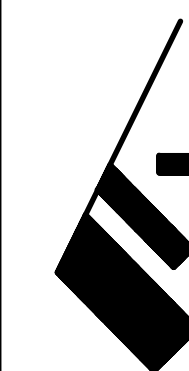
C South Elevation
1/8"=1'-0"



D East Elevation
1/8"=1'-0"

Phase II

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546

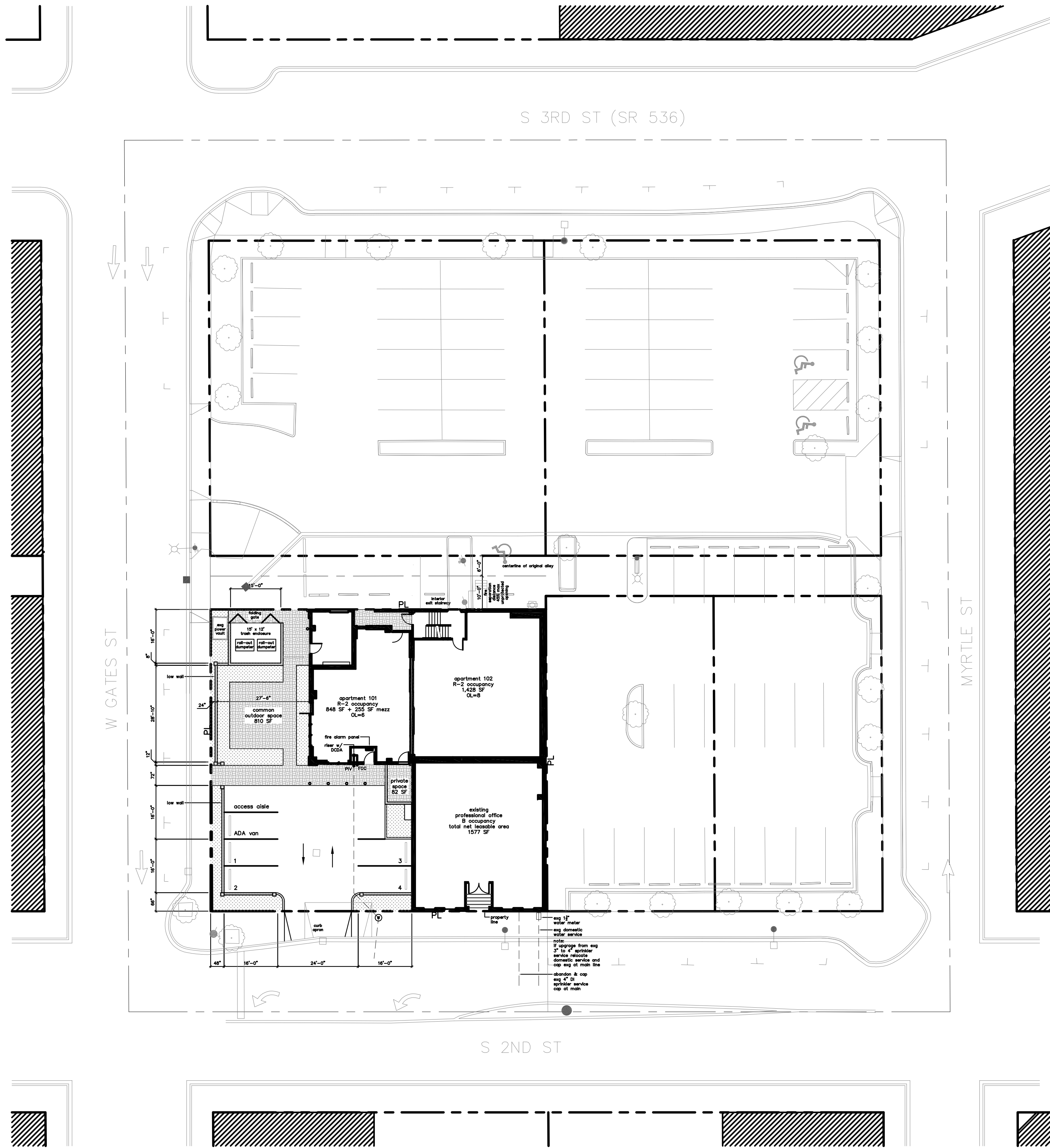


Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
SCHEMATIC
DESIGN
03/12/21

Sheet:

A7

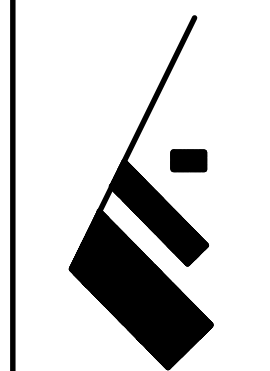


Note
No buildings on adjacent properties
Hatch indicate buildings across the street

PHASE I Site Plan
1"=20'-0"

0' 10' 20' 40'

Phase I



Improvements to 508 2nd Street for RPI Mount Vernon LLC

Date:

SCHEMATIC
DESIGN
11/12/20
REVISED
FOR CUP
05/12/21

Sheet:

ESP2



Phase II







STAFF RECOMMENDATION FOR THE DESIGN REVIEW BOARD DOWNTOWN DESIGN REVIEW

A. BACKGROUND INFORMATION:

PROJECT ADDRESS:	508 S 2 nd Street	PERMIT NUMBER:	PLAN21-0294
APPLICANT:	Mark Christ	PROJECT PARCEL NUMBER(S):	P52080
PROJECT DESCRIPTION:	<p>The City's Design Review Board will be reviewing and making recommendations the façade and site plan subject to design review (per Mount Vernon Municipal Code Chapter 17.70) for an overall phased project to result in 1,820 s.f. of professional office space, seven new apartments (7,946 s.f. of interior remodeling will create five (5) of the units and a 3,196 s.f. addition to the third floor will create the additional two (2) units), and new improvements including: an apartment lobby, elevator, outdoor roof deck, parking areas, dumpster enclosure, common outdoor space, and landscaping.</p> <p>The Board will be making a recommendation to the Hearing Examiner who will be making a decision on this project.</p>		
APPLICABLE MVMC:	MVMC CHAPTERS 17.70, 17.45 AND 14.05		
EXHIBITS:	<p>EXHIBIT A: Master Land Use, Narrative and Justification from the Applicant EXHIBIT B: Proposed Plans from the Applicant EXHIBIT C: Public Notice Information</p>		

B. APPROVAL CRITERIA:

1. Does the proposed use comply with the site zoning? Provide details below: ☒ Yes ☐ No ☐ NA

The project includes the following uses within the C1a zoning district:

- The existing 1,820 s.f. of professional office space located on the 1st floor to remain
- Seven new apartments. One of the units will be located in the basement, two units will be located on the 1st floor, two units will be located on the 2nd floor, and two units will be located on the yet to be constructed 3rd floor.
- Apartment lobby to be located on the future 3rd floor.

The existing ground floor office use is a pre-existing non-conforming use because it is greater than 500 s.f. in size. The office use can be maintained and repaired; however, it cannot be expanded and if it is abandoned any future use must comply with the development regulations of the C-1a zoning district. In addition, repairs to the office portion of the structure cannot exceed 50 percent of the fair market value of the office occupied portion of the building.

Ground level multi-family residential uses require a Conditional Use Permit per MVMC 17.45.050; and requires the below listed conditions be met:

- a. The ground-level multifamily units shall be set back a minimum of 10 feet from any abutting right-of-way except for alleys.
- b. The ground-level entry to the multifamily units shall be elevated to provide visual separation from the abutting pedestrian way into the living space of the dwelling unit.

All of the proposed multi-family units are identified as being set back more than 10 feet from all abutting rights-of-way which include South 2nd Street and West Gates Street. The ground-level entry to the northern most multi-family unit on the first floor will not be elevated from the abutting pedestrian way into the living space of the dwelling. This requirement would not apply to the basement unit; and the remaining five multi-family units are all elevated to provide visual separation from the abutting pedestrian way.

The applicant is seeking a Waiver per MVMC 17.70.080 to allow the northern most multi-family unit to be located on the first floor without being elevated from the abutting pedestrian way. The Applicant's site plans demonstrate there is a unique and unusual circumstance about the location of this multi-family unit and has provided an alternative design representing an equivalent design solution. The alternative design includes the creation of a common outdoor space between W Gates and the unit and an approximate 2.5-foot tall retaining wall with an open rail fence on top of it between the unit and S 2nd Street. Sheets A2, detail B on sheet A3, and the North Elevation on sheet L-1 within Exhibit B illustrate these improvements. Staff finds this design solution provides comparable visual separation as would be observed if this unit was elevated.

2. Are the zoning code setbacks being complied with? Provide details below:

☐ Yes ☐ No ☒ NA

There are no setbacks required in the zoning code; however, the structure will be required to comply with all Building and Fire Codes.

3. Are the landscaping requirements being complied with? Provide details below:

☒ Yes, as conditioned

☐ No ☐ NA

The plans submitted identify a 4-foot landscape area along the west side of the site abutting South 2nd Street and landscaping strips along the north side of the site abutting West Gates Street that vary between 3 feet and 5.5 feet.

A total of 869 s.f. of landscaping will be provided across the 9,000 square foot site.

The two street trees abutting South 2nd Street will need be evaluated by the City's arborist and the Applicant will need to replace both trees if the City's arborist finds these trees are not in good health. In addition, a street will need to be installed near the northeast corner of the site where a tree has been removed.

4. Does the proposed development comply with the parking requirements found in MVMC 17.84? Provide details below:

☒ Yes, as conditioned

☐ No ☐ NA

Yes, the site is zoned C-1a and is within 1,000 feet of surface parking lots owned by the City; and as such, there are no parking requirements to apply [17.84.020(E)(1)].

The applicant will be providing four (4) compact spaces and one (1) van accessible ADA space that will be accessed off of South 2nd Street. The compact spaces will need to be identified as such with pavement markings and the ADA space will require pavement markings and signage.

5. DT STANDARD A - GROUND FLOOR TREATMENT:

A. Non-residential uses are required to have a minimum 12-foot floor to ceiling height. Is this requirement satisfied?

☒ Yes ☐ No ☐ NA

The existing floor to ceiling height of the portion of the building where the existing office space exists with an entry door facing S 2nd street is 13'-6".

The existing floor to ceiling height of the portion of the building where the new multi-family units are are planned with an entry door facing W Gates Street is 16'-6.5".

B. Non-residential uses are required to have transparent windows and/or door that occupy at least 60% of the façade area between 2.5 and 12 feet above abutting grade when abutting Downtown Core Streets. When abutting Secondary Core Streets the required transparency is reduced to 40%. Is this requirement satisfied?

☐ Yes ☒ No ☐ NA

The portion of the structure to be utilized for non-residential uses is the west façade facing S 2nd Street (a Downtown Core Street). This façade is comprised of approximately 911 s.f. and the area between 2.5 and 12 feet above abutting grade contains approximately 100 square feet of transparent windows/doors are shown. This is 11% of this façade.

The remaining portions of the building façade are not non-residential use and therefore this criteria does not apply to these areas.

Staff notes the intent of this standard is to increase pedestrian activity by maintaining and creating attractive, activated ground floors. This is an existing building and the ground floor is elevated approximately 3 feet above grade. This condition makes it nearly impossible to allow pedestrian to view activated ground floor windows. For this reason staff recommends a wavier to this requirement.

C. Weather protection abutting no less than 75% of the street façade facing Downtown Core Street is required; additionally, the weather protection shall:

☐ Yes ☒ No ☐ NA

- Be at least five feet in width.
- Be constructed of steel and glass, fabric, or other materials of a permanent nature. Vinyl or plastic awnings are not allowed.
- Have a matte finish.
- Shall not be internally it.

Are these requirements satisfied? No

For the same reasons that are outlined under the standard above, staff recommends a waiver be granted for this requirement.

D. Entry doors shall be largely transparent with at least half of their area being clear glazing. Is this requirement satisfied?

☐ Yes ☐ No ☐ NA

☒ Maybe

The entry door off of S 2nd Street is largely transparent with at least half of its area being clear glazing.

Staff recommends the Applicant be required to submit revised plans indicating the door facing W Gates Street is remain largely transparent.

E. A buildings primary entrance shall be located in the principal façade of the structure and shall be oriented toward the street. The primary entrance must be readily apparent as a prominent architectural component. Is this requirement satisfied?

☐ Yes ☐ No ☐ NA

☒ Maybe

The principal façade off of S 2nd Street is oriented toward the street and is readily apparent as a prominent architectural component.

The primary entry off of W Gates Street is oriented toward the street. However, the committee will need to determine if additional features need to be incorporated for this entry.

- F. Windows at street level shall permit visibility into the business and visibility shall not be significantly obscured by translucent treatment, etching, signage, window darkening film or other means. Is this requirement satisfied?**

☐ Yes ☐ No ☐ NA
☒ Maybe

There is existing signage located in the windows facing S 2nd Street that may need to be moved to achieve compliance with this element.

DT STANDARD B – BUILDING MASSING, ARTICULATION AND HUMAN SCALE:

- A. The maximum width of any continuous non-residential or mixed-use building façade facing a street shall be 120 feet without substantial vertical modulation and vertical definition. Is this requirement satisfied?**

☒ Yes ☐ No ☐ NA

The building is approximately 70 linear feet along South 1st Street

- B. Articulation is required in 40-foot increments. No less than three of the following articulation elements are required to be incorporated into the building.**

☒ Yes ☐ No ☐ NA

- Vertical piers or columns.
- Change in building materials separated by trim, joints, or other features to provide an appropriate articulation transition.
- Window fenestration patterns and/or entries
- Roof line modulation or articulation.
- Other design techniques that reinforce a human- scaled pattern that is compatible with the building's surrounding context.

Are these requirements satisfied?

The portion of the building abutting S 2nd Street is approximately 32 feet in length. The portion of the building facing and closest to W Gates Street is approximately 37 feet in width.

- C. Non-storefront windows are required to have a vertical proportion of approximately 2:1 height to width, must be surrounded by trim, molding, sills, or other architectural features, and must recess or project at least three-inches from the façade. Are these requirements satisfied?**

☐ Yes ☐ No ☐ NA
☒ Maybe

The proposed individual windows have a vertical proportion of approximately 2:1 (height to width). The Applicant will need to verify that all of the windows will be surrounded by trim, molding, sills or other architectural features and that they recess or project at least three-inches from the façade.

- D. All buildings must be composed of three sections to include a base, middle and top (i.e. tripartite design). Is this requirement satisfied?**

☐ Yes ☐ No ☐ NA
☒ Maybe

Staff recommends the Board find this structure meets this requirement. T

- E. All buildings must have roofs that incorporate three dimensional architectural material at the upper edge of facades or soffit overhangs. Roofs are required to include:**

☒ Yes ☐ No ☐ NA

- Decorative rooflines, including cornices, frieze or other roof line elements visible from the ground.

Are these requirements satisfied?

The plans identify a cap and cornice along the top of the proposed structure.

6. DT STANDARD C – BUILDING FACADES AND DETAILS:

- A. Existing brick or case stone masonry facades are not allowed to be covered, obscured, painted or in any way altered from their original condition. Is this requirement satisfied?**

☐ Yes ☐ No ☐ NA

☒ Maybe

The Applicant will need to verify what they plan on doing to the north, east, and south facades of the structure because staff is not sure if the existing paint will be removed from the brick or not.

The third story addition is proposed with cement board panel siding. Staff is not sure what the exterior material for the elevator addition is proposed to be covered with.

- B. Facades shall be stone, cast stone, terra cotta, or brick. Is this requirement satisfied?**

☐ Yes ☐ No ☐ NA

☒ Maybe

The Board will need to decide if the Applicant has satisfied this criteria.

- C. Building facades are required to have muted, subdued colors used for large areas and backgrounds to unify the composition. Is this requirement satisfied?**

☐ Yes ☐ No ☐ NA

☒ Maybe

The Applicant will need to submit information on their exterior colors so that this element can be reviewed and approved.

- D. Is the Applicant using the City's pre-approved paint colors?**

☐ Yes ☐ No ☐ NA

☒ Maybe

The Applicant will need to submit information on their exterior colors so that this element can be reviewed and approved.

- E. Applied façade materials are required to be extended around building corners and extensions, or used only in recessed bays to avoid a "passed-on" appearance. Is this requirement satisfied?**

☐ Yes ☐ No ☐ NA

☒ Maybe

It appears this element has been satisfied.

- F. Flat, blank walls are not permitted – blank walls are defined as a surface of 400 s.f. or more. Is this requirement satisfied?**

☐ Yes ☒ No ☐ NA

The north, west, south and east elevations all have flat, blank walls with surface areas of 400 s.f. or more.

- G. Following is a list of prohibited materials:**

☐ Yes ☐ No ☐ NA

☒ Maybe

- Metal siding
- Corrugated fiberglass
- Mirror or metalized reflective glass
- Plywood
- Masonite
- Chip Board siding
- Exterior insulated finish system
- Cinder-block
- Cement board panels when used on ground floors
- Siding when used on ground floors
- Chain link fencing
- Field Stone (natural or faux)
- Exposed aggregate
- Faux Masonry
- Vinyl siding

Are these requirements satisfied?

Staff is assuming the siding on the elevator addition is cement board panel siding. The Board will need to determine if the cement board siding on the elevator addition can remain.

H. Two of the following elements are required to be incorporated into ground floor facades: ☐ Yes ☒ No ☐ NA

- Transom windows
- Recessed entry
- Decorative door
- Decorative, building-mounted light fixtures
- Bay windows
- Decorative use of materials such as mosaic tiles, wrought iron, corbels, or outlooks.

Are these requirements satisfied?

The ground floor façade off of S 2nd street includes decorative doors and a recessed entry. The entry off of W Gates Street does not comply with this requirement.

Staff recommends the Applicant submit revised plans identifying two or more of the listed required elements.

I. Lighting is required to emphasize the building and landscaping, and to provide visibility and security. All lighting is required to be incandescent or LED and must comply with the following: ☐ Yes ☒ No ☐ NA

- Lighting on the building and in landscape areas must be integrated with the building design, create a sense of safety and encourage pedestrian activity after dark.
- Must be adequate along sidewalks and alleys to provide well-lit pedestrian walkways.
- Must be shielded to reduce glare and eliminate light being cast into the night sky.
- Flashing or strobe lighting is prohibited.
- Alleys shall be illuminated for safety, vehicle and pedestrian use.

Are these requirements satisfied?

The plans submitted do not demonstrate compliance with these requirements. The Applicant will need to submit additional information before these requirements can be evaluated.

7. DT STANDARD D – BUILDING LOCATION AND SITE PLANNING:

A. Buildings on Downtown Core Street shall be placed on the street edge lot lines with parking located to the side or behind buildings. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building.

B. Pedestrian friendly building elements shall be incorporated at intersections, street corners, buildings with two street frontages, and alley entrances by incorporating features such as inset corners, plazas, decorative landscaped areas, cropped building corners, and display windows. Are these requirements satisfied? ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building.

C. Decorative treatments within the sidewalk, including special paving patterns and building entryway tiling shall be preserved or replicated. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

Not Applicable, none of these items exist on the project site.

- D. The use of alleys for services and public-oriented activities shall be required and maintained. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building that abuts an existing alley.

- E. Surface parking lots abutting the street shall be screened with a landscaping buffer that is no less than five feet in depth and has smaller street trees planted on 15 foot centers, or 30 feet depending on type of tree, with shrubs between the street trees to fill out the planter area. A low concrete wall, elevated planter, or other similar feature shall be installed in conjunction with the planter strip to screen the parking area visible from public streets. Are these requirements satisfied?** ☐ Yes ☒ No ☐ NA

A 4-foot landscape area along the west side of the site abutting South 2nd Street is shown. The landscaping strips along the north side of the site abutting West Gates Street vary between 3 feet and 5.5 feet. The number of trees and shrubs is sufficient. The type of trees will need to be approved by the City's arborist.

8. DT STANDARD F - SIGNAGE:

- A. Signs must be used in a way that compliments the building and historical conditions in material, style, and color. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- B. Wall signs shall be required to comply with a standard limiting them to two-thirds the dimension of the articulation interval of the facade they are placed on. Wall signs shall also be centered and proportional to the building facade. Are these requirements satisfied?** ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- C. Signs shall primarily be located on flat panels of the facade, painted directly on the store front windows, upper story windows, on awnings, or mounted to bars perpendicular to the building. Are these requirements satisfied?** ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- D. Signs may not cover or obscure architectural features of a building, including windows, cornices, or columns. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- E. Sign Materials. Painted signs in storefront windows and single-faced, flat-surfaced, painted wood signs are all allowed and are preferred signage. Vinyl letters are allowed. Extruded aluminum or plastics are not allowed. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- F. Signage visible on ground-floor windows shall not exceed 30 percent of the total window area per tenant. Signage shall not be installed on any storefront window in the portion of the window between four to six feet above the sidewalk on buildings abutting Downtown Core Streets. Are these requirements satisfied?**

☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- G. Bonus Blade Signs. Blade signs (double-faced projecting signs hanging or projected perpendicular to the building) are encouraged. Blade signs shall not count towards the maximum sign allowance per MVMC Chapter 17.87 so long as they comply with all of the following:**

☐ Yes ☐ No ☒ NA

- They shall be consistent in design with District goals of historical compatibility and sensitivity.
- No more than one blade sign shall be allowed for every 40 feet of building frontage on a public road (excluding alleys).
- Blade signs cannot be placed closer than 15 feet from each other when installed on similar horizontal planes.
- Each blade sign shall not exceed eight square feet in size.
- Horizontally oriented – extending no more than eight feet from face of the building and vertically-oriented extending not more than three feet from the face of the building.
- Structural supports of a dark or subdued color.

Are these requirements satisfied?

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- H. Signage cannot project over the roof line of any structure. Is this requirement satisfied?**

☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- I. Signs lighting must be subdued in brightness and is required to use a LED source, or a source that replicates the warmth and color quality of incandescent lighting. In addition, signs are required to comply with the following:**

☐ Yes ☐ No ☒ NA

- Internally illuminated cabinet signs are not allowed.
- Signs that flash, blink, vary in intensity, revolve, or otherwise in motion or appear to be in motion are not allowed.

Are these requirements satisfied?

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- J. Awning, canopy, and marquee signs shall comply with the following as applicable:**

☐ Yes ☐ No ☒ NA

- Awning signs shall be painted or screened directly onto the fabric.
- Must consist of no more than two colors.
- Must be individual, channel-cut characters of metal, wood, or composite and shall be mounted on the top of the canopy at the front edge.

Are these requirements satisfied?

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- K. Letter style, color, intensity and overall impact of the neon sign shall be evaluated for compatibility with the other signs and buildings in the District. Neon signs shall be designed to reflect the unique nature of the use within. Non-custom neon signs are not permitted. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

- L. Electronic message center (EMC) signs are not allowed. EMCs are signs capable of displaying words, symbols, figures or images that can be electronically changed by remote or automatic method. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

The Applicant has not submitted signage. All future signage will require review and approval by the Board or by the City's Design Review consultant.

9. DT STANDARD G – OUTDOOR UTILITIES, FACILITIES AND RELATED ITEMS:

- A. All mechanical equipment, utility meters and vaults, rooftop mechanical and communication equipment shall be screened from pedestrian view at streets. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA
☒ Maybe

The Applicant needs to identify where these items will be located so that staff can ensure they are screened.

- B. Newly constructed buildings shall have dumpsters located within the dripline of the buildings and shall be enclosed within a structure approved by City's sanitation department. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

The Applicant has proposed a new dumpster location that is shown on the accompanying plans.

10. DT STANDARD E: RESIDENTIAL USES & SURROUNDING AREAS:

The residential portions of mixed-use buildings within the downtown and surrounding areas shall comply with the standards in "Section 2. Multi-Family Standards". If and where there's a conflict between the Multi-Family and Downtown Standards, the Downtown Standards will apply. Below are the applicable requirements from the Multi-Family Standards.

- A. PRIVATE OUTDOOR SPACES. A minimum of 40 s.f. of attached private open space shall be provided for each multi-family unit. This space is required to consist of decks, balconies, patios, landings, yards, terraces, verandas, or other similar features; be physically connected to each unit, and have no dimension less than six feet. ☒ Yes ☐ No ☐ NA

Additionally, these spaces are required to be visually screened to the extent possible for each other and delineated from the street.

In situations where attached private open space cannot be provided for some units within a structure an additional 80 square feet (per unit that does not have attached private open space) will be added to the per unit common open space requirement contained within the "MF-E: Common Open Spaces & Usable Recreation Areas" on page 38.

Are these requirements satisfied?

There are seven multi-family units proposed.

The basement unit has 90 s.f. of attached private space identified. This is the only unit meeting this requirement.

However, the design standards contains an allowed deviation in situations where attached private open space cannot be provided. This allowed deviation requires additional common open space.

The remaining six units are required to have a minimum of 120 s.f. of common open space which equals a total of 720 s.f. A total of 1,260 s.f. of common open space is provided in the form of:

- 2nd floor contains a 450 s.f. roof deck that appears to be accessible to all of the dwelling units.
- Common outdoor space located on the north side of the site that is approximately 810 s.f. in size.

B. COMMON OPEN SPACES & USABLE RECREATION AREAS. A minimum of 100 s.f. of on-site open space accessible to all residents is required to be created permit dwelling unit. Shared outdoor open spaces must comply with the following criteria:

☒ Yes ☐ No ☐ NA

- No dimension of the space(s) are less than 15 feet.
- The space(s) shall be accessible from the multi-family units and shall be centrally located.
- The space(s) shall include paths, seating, lighting, and enhanced landscaping, i.e. delineated landscape beds with trees, shrubs and ground cover installed to create an attractive site amenity.
- The space(s) shall include no less than two of the following: play structure (jungle gym), exercise equipment, sport court, gazebo, decorative pavers, outdoor grilling/dining area, raised beds for resident vegetable gardens, or other substantially similar type of element
- The space shall be delineated from streets, parking lots, ground level windows, dumpsters, and other similar elements with fencing and landscaping

A maximum of 40 percent of the required common open space(s) requirement can be satisfied with roof decks on the top of building(s) so long as all of the following criteria are met:

- Seating areas and landscaping must be installed.

The area must include no less than two of the following amenities:

- Barbecues
- Fireplaces
- Pergolas or arbors
- Recreational spaces
- Area must be ADA accessible.
- Area must be accessible to all residents.

Are these requirements satisfied?

Basement unit: 80 s.f.

Other six units: 120 x 6 = 720

Total = 800 s.f.

This project is required to provide a total 800 s.f. of on-site open space accessible to all residents. As noted above, 1,260 s.f. of common open space is being created. A maximum of 320 s.f. (40%) can be provided in the form of a roof deck. The applicant still meets the common open space requirement even when using the reduced maximum roof deck square footage ($320 \text{ s.f.} + 810 = 1,130 \text{ s.f.}$)

C. WINDOWS

☐ Yes ☒ No ☐ NA

Windows shall be provided on building facades facing public and private streets (excluding alleys) and are required to comprise no less than 15 percent of the building facade area.

At least one of the following elements shall be included on 50 percent of the windows visible from public or private streets, open space areas, parking areas, or pedestrian ways:

- Sun shading devices.
- Shutters.
- Planter boxes.
- Arbors.
- Bay windows.
- Significant accent trim in addition to the three inch trim that is already required.
- Distinctive window shapes such as arched or multi-paned windows.
- Juliet balconies.

Are these requirements satisfied?

These requirements apply to the north, south and west building facades because they face public streets. The east façade is not applicable because it faces an alley.

The three-story portion of the north façade is comprised of 2,288 s.f. and 305.6 s.f. of windows. Windows comprise **13.4%** of this portion of the façade.

The one-story portion of the north façade is comprised of 490 s.f. and has no windows. Windows comprise **0%** of this façade area.

The second and third story portions of the west façade are comprised of 2,103 s.f. and 192 s.f. of windows. Windows comprise **9.1%** of this façade area.

The south façade is comprised of 3,223 s.f. and 70.2 s.f. of windows. Windows comprise **2.2%** of this portion of the façade.

Staff recommends approval of a waiver for the west elevation of the structure because it is only 1.6% short of meeting the glazing requirement. Staff recommends the Applicant be required to submit revised plans bringing the north and south elevations closer to complying with the glazing requirements. Further, staff recommends the Applicant be required to submit revised drawings identifying which of the listed elements are being satisfied for 50% of more of the windows.

C. STAFF RECOMMENDATION:

Accompanying this document is a copy of the plans that are being recommended for ☐ **APPROVAL** ☒ **APPROVAL WITH CONDITIONS**, or ☐ **DENIAL** by the undersigned Development Services Department staff; subject to compliance with the standards of the Mount Vernon Municipal Code and the following specific conditions of approval:

1. Staff recommends the below listed waivers per MVMC 17.70.080 be granted:
 - a. The requirement for transparent windows and/or doors and the requirement for weather protection along 75% of the frontage outlined in Design Standard DT-A (Ground Floor Treatment) for the reasons outlined on page 2 of this staff report. However, staff would recommend the existing windows must remain and the door on this façade must remain largely transparent.
 - b. The requirement for window requirements outlined in Design Standard DT-E, staff recommends approval of a waiver for the west elevation of the structure because it is only 1.6% short of meeting the glazing requirement. Staff recommends the Applicant be required to submit revised plans bringing the north and south elevations closer to complying with the glazing requirements. Further, staff recommends the Applicant be required to submit revised drawings identifying which of the listed elements are being satisfied for 50% or more of the windows.
2. Staff recommends the Applicant be required to submit revised plans to comply with the below-listed standards. Further, staff recommends these plans be reviewed and approved by the City's Design Review consultant vs. the Design Review Board or the Hearing Examiner:
 - a. Demonstrating all of the windows will be surrounded by trim, molding, sills or other architectural features and that they recess or project at least three-inches from the façade.
 - b. Demonstrating the materials and colors proposed on the north, east, and south facades of the structure.
 - c. Demonstrating the entry off of W Gates Street have two or more of the listed required elements under DT-C, subsection H, installed.
 - d. Demonstrating compliance with the lighting requirements outlined in DT-C, subsection I.
 - e. Identifying where mechanical equipment, utility meters and vaults, rooftop mechanical and communication equipment will be located; and once located screening needs to be identified so that these items are not visible.
3. Staff recommends the City's arborist review and approve the landscaping plans. The Applicant will be required to amend these plans as recommended by the City's arborist.
4. All of the site improvements, i.e. the outdoor patio area, pergola, accent paver walkway, artistic accent panels, overhead trellis, masonry screening walls and all landscaping shall be completed as a condition of what the Applicant has identified as the Phase I project.



Rebecca Lowell, Principal Planner
Development Services Department

August 13, 2021

Date

D. NOTES TO THE APPLICANT:

This approval is limited to the elements of Design Review for development in the City's historic download that is codified within MVMC Chapter 17.70. This approval does not imply or convey permission to construct anything shown on the plans accompanying this staff report. The Applicant will be required to obtain Building, Fire and Engineering Permits that will authorize all construction activities.

MASTER LAND USE APPLICATION FORM

① PROPERTY WHERE WORK IS OCCURRING

ADDRESS:	
PARCEL NUMBER(S):	

② PROPERTY OWNER INFORMATION

NAME:				
ADDRESS:	HOUSE # AND STREET	CITY	STATE	ZIP
TELEPHONE:		CELL:	EMAIL:	

③ CONTACT PERSON

SELECT THE **ONE** PERSON THE CITY WILL
CONTACT FOR ANYTHING RELATED TO THIS
PERMIT?

☐ Applicant

☐ Property Owner

☐ Contractor

☐ Other (list below)

NAME:				
ADDRESS:	HOUSE # AND STREET	CITY	STATE	ZIP
TELEPHONE:		CELL:	EMAIL:	

④ PERMITS & APPROVALS BEING SUBMITTED

TYPE OF PROJECT (CHECK ALL THAT APPLY):

Accessory Dwelling Unit (ADU)
 Boundary Line Adjustment
 Comprehensive Plan Amendment
 Conditional Use Permit (Administrative)
 Conditional Use Permit (Hearing Examiner)
 Critical Area Permit
 Design Review (Administrative)
 Design Review (Design Review Board)
 Design Review (Hearing Examiner)
 Environmental Review (SEPA)
 Major Modification
 Master Plan for Public Zoned Properties
 Model Home permit
 Non-Conforming Use - Special Permission

Preliminary Plat (> 9 lots/tracts)
 Preliminary Short Plat (< 9 lots/tracts)
 Preliminary Binding Site Plan
 Rezone
 Shoreline Exemption
 Shoreline Substantial Development Permit
 Shoreline Conditional Use
 Shoreline Variance
 Special Use Permit
 Street Vacation per MVMC Chapter 12.40
 Variance (Hearing Examiner)
 Variance (Administrative)
 Other, list here:

⑤ SITE AND PROJECT INFORMATION

EXISTING ZONING DESIGNATION:	
EXISTING COMPREHENSIVE PLAN DESIGNATION:	
SITE AREA (IN SQUARE FEET AND ACRES):	
PROJECT DESCRIPTION: (ATTACH ADDITIONAL SHEETS FOR THE PROJECT DESCRIPTION, IF NECESSARY)	

A. IS WORK WITHIN THE CITY'S RIGHT-OF-WAY PROPOSED? IF YES, YOU WILL BE REQUIRED TO SUBMIT A RIGHT-OF-WAY APPLICATION.	YES	NO
B. IS THE PROPERTY LOCATED IN A FLOOD ZONE?	YES	NO
C. ARE THERE SLOPES IN EXCESS OF 15% ON OR ABUTTING THE SITE? IF YES, A GEOTECHNICAL REPORT WILL LIKELY NEED TO BE SUBMITTED.	YES	NO
D. ARE THERE CRITICAL AREAS OR BUFFERS ON OR ABUTTING THE PROJECT SITE? IF YES, CRITICAL AREA REPORTS WILL LIKELY NEED TO BE SUBMITTED.	YES	NO
E. WILL MORE THAN 2-ACRES BE CLEARED AND/OR MORE THAN 5,000 BOARD FEET OF TIMBER BE HARVESTED? IF YES, YOU WILL BE REQUIRED TO SUBMIT A LAND CLEARING PERMIT.	YES	NO
F. IS THIS PROJECT SUBJECT TO THE SEPA PROCESS? IF YES, YOU WILL BE REQUIRED TO SUBMIT A SEPA CHECKLIST.	YES	NO
G. IS THE PROJECT SUBJECT TO DESIGN REVIEW? IF YES, YOU WILL NEED TO PROVIDE PLANS AND OTHER MATERIALS TO COMPLY WITH DESIGN REVIEW.	YES	NO

⑥ READ, INITIAL AND SIGN WHERE INDICATED

Read and initial each of the following statements prior to signing this application:

I understand that land use and/or planning permits do not authorize earth disturbing activities, the removal of vegetation, or the construction of buildings. I understand that additional permits will be required after my land use and/or planning permitting process is completed. I understand that no earth disturbing activities (including the removal of vegetation) may take place until after my land use and/or planning process is complete, and only after I have received additional permits such as Fill & Grade, Building Utility, or Right-of-Way permit(s).

I understand that if critical areas (wetlands, streams, steep slopes, et cetera) are found on or near my property I am not authorized to impact these areas in any way and will be required to leave an undisturbed buffer area around the critical area. I also understand that depending upon the size and scope of my project that I may be required to enhance a critical area buffer.

I understand that depending upon the size and scope of my project, I may be required to provide maintenance and/or performance bonds for items such as landscaping, critical areas, public roads and/or public utilities that I construct or install.

I understand that I am solely responsible for providing complete and accurate information to the City. I understand that if my application is missing information or if inaccurate materials are submitted, my permits will be delayed. I understand that depending on how inaccurate and how incomplete my application is or becomes, the Development Services Department could require an entirely new application be submitted. I understand that when and if conditions change from that which my application originally represented, I am responsible for letting the City staff person assigned to my project know.

I understand that I am applying for permits from the City of Mount Vernon only; and that additional permits from other Federal and State agencies could be required. I understand that the City of Mount Vernon cannot advise me of permits that are required from other agencies, and that I must contact these agencies to make sure I comply with their requirements. These agencies include (but are in no way limited to): Corps of Engineers, Department of Natural Resources, Department of Ecology, and Northwest Clean Air Agency.

I understand that I may be required to properly and timely post a pink land use sign on my property during land use and/or planning permitting process. I understand that I am responsible for making sure that this sign continues to be posted on my property until my land use and/or planning process is completed; and I understand that I am responsible for removing and disposing of this sign once my land use process is completed.

I understand that I will be responsible for paying consultants that the City may deem necessary to review certain aspects of my application. I understand that these consultant reviews could include special inspections, traffic concurrency, critical area, landscaping, et cetera.

By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities. If your title report lists a company, partnership or other owners you must submit evidence that you are authorized to sign on behalf of the entity or others that are listed.

If you are an authorized representative you must download, complete and submit an **AGENT AUTHORIZATION FORM**.

Please attach additional signature sheets if there is more than one owner.

UNDER PENALTY OF PERJURY I SWEAR THAT ALL INFORMATION PROVIDED IS TRUE AND CORRECT.

Signature

Date

3/23/2021

Michael Morgan

Printed Name

STATE OF WASHINGTON

COUNTY OF ~~SKAGIT~~ King

} ss.

I certify that I know or have satisfactory evidence that Michael Morgan is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the managing member to be the free and voluntary act and deed of said RPI Mount Vernon, LLC for the uses and purposes therein mentioned.

Given under my hand and official seal this 23 day of March, 20 21



Sara Ashley Wyckoff
Notary Public

Residing at Des Moines

My appointment expires 7-10-22


Notary Public

⑥ READ, INITIAL AND SIGN WHERE INDICATED

Read and initial each of the following statements prior to signing this application:



I understand that land use and/or planning permits do not authorize earth disturbing activities, the removal of vegetation, or the construction of buildings. I understand that additional permits will be required after my land use and/or planning permitting process is completed. I understand that no earth disturbing activities (including the removal of vegetation) may take place until after my land use and/or planning process is complete, and only after I have received additional permits such as Fill & Grade, Building Utility, or Right-of-Way permit(s).



I understand that if critical areas (wetlands, streams, steep slopes, et cetera) are found on or near my property I am not authorized to impact these areas in any way and will be required to leave an undisturbed buffer area around the critical area. I also understand that depending upon the size and scope of my project that I may be required to enhance a critical area buffer.



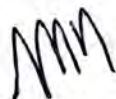
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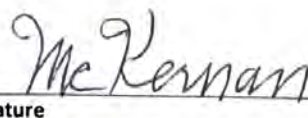
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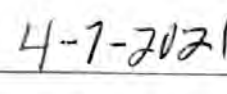
By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities. If your title report lists a company, partnership or other owners you must submit evidence that you are authorized to sign on behalf of the entity or others that are listed.

If you are an authorized representative you must download, complete and submit an **AGENT AUTHORIZATION FORM**.

Please attach additional signature sheets if there is more than one owner.

UNDER PENALTY OF PERJURY I SWEAR THAT ALL INFORMATION PROVIDED IS TRUE AND CORRECT.


Signature


Date


Printed Name

CALIFORNIA
 STATE OF ~~WASHINGTON~~ } ss.
 COUNTY OF ~~SKAGIT~~ }
 RIVERSIDE }
 NM

I certify that I know or have satisfactory evidence that MICHAEL K. MCKERMAN is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the MANAGER to be the free and voluntary act and deed of said RPI MT VERNON LLC for the uses and purposes therein mentioned.

Given under my hand and official seal this 01TH day of APRIL, 2024

[Signature]
 Notary Public

(SEAL)

Residing at LA QUANTA, CA
 My appointment expires 01-20-2025

Notary Public





Improvements to 508 S 2nd Street for RPI Mount Vernon LLC

PROJECT NARRATIVE

Date: 05/17/21

- a. Project Name: Improvements to 508 2nd Street for RPI Mount Vernon LLC
- a. Zoning: MVMC 17.45 Downtown District, MVMC 17.45.020.A Subdistrict C-1a. Adjacent Zoning: North & West (same zone), South & East P Public).
- b. Current Use of the Site: Southwest portion existing Professional Offices, southeast portion unoccupied.
- c. No new lots are proposed.
- d. No special features such as critical areas listed.
- e. Presently no information on soil type.
- f. Please find proposed use of property Phase I and Phase II listed below.
- g. Proposed off-site improvements include new curb cut on 2nd Street.
- h. Total estimated cost \$2,000,000.
- i. Estimated 60 CY of existing asphalt & paving removed from site.
- j. No trees to be removed.
- k. No land to be dedicated to the City.

PHASE I:

7,946 sf interior remodel to existing 9,766 sf building.

Interior remodel to provide (5) apartments totaling 7,946 sf.

New window openings provided for apartments.

Existing 1,820 sf professional office to remain.

Site improvements including, compliant parking, trash enclosure, pedestrian walkways, common outdoor space, and associated landscaping.

Installation of new fire alarm and sprinkler system throughout.

PHASE II:

New 3,196 sf third floor addition for (2) apartments.

New 735 sf addition for apartment lobby and elevator.

New 360 sf outdoor roof deck for common use by apartments over existing Telephone Building roof.



AGENT AUTHORIZATION FORM FOR MASTER LAND USE APPLICATIONS

Use this form to authorize someone other than the property owner to apply for permits for the subject property.

Project Name: Improvements to 508 2nd Street for RPI Mount Vernon LLC
Property Address: 508 South 2nd Street
Property Parcel Numbers: 52080
City, State, Zip: Mount Vernon WA 98273

AUTHORIZATION STATEMENT

I/we, as the owners of the property identified above, authorize the below listed individual(s) to act as our agent to submit applications, receive correspondence regarding the above-listed application, and sign to receive notices on my/our behalf.

DESIGNATED AGENT

Agent #1 Name: Mark Christ, Architect
Agent #1 Address: 810 Bennett Street
Agent #1 City, State, Zip: Sedro-Woolley, WA 98284
Agent #2 Name:
Agent #2 Address:
Agent #2 City, State, Zip:

PROPERTY OWNER SIGNATURE(S)**

Signature: <u>McKernan</u>	Signature: _____
Printed Name: <u>MICHAEL K McKernan</u>	Printed Name: _____
Title: <u>Manager</u>	Title: <u>Manager</u>
Company: <u>RPI Mt Vernon, LLC</u>	Company: <u>RPI Mt Vernon, LLC</u>
Date: <u>10-30-20</u>	Date: _____

**Each property owner listed above must have their signature notarized

STATE OF WASHINGTON }
COUNTY OF ~~SKAGIT~~ King } ss.


I certify that I know or have satisfactory evidence that Michael K McKernan is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the manager to be the free and voluntary act and deed of said RPI Mt Vernon LLC, for the uses and purposes therein mentioned.

Given under my hand and official seal this 30 day of October, 2020



Selam Mengisteab
Notary Public
Residing at Washington
My appointment expires May 23, 2024

PROPERTY OWNER SIGNATURE(S)**

Signature: _____	Signature: <u></u>
Printed Name: _____	Printed Name: <u>Michael Morgan</u>
Title: <u>Manager</u>	Title: <u>Manager</u>
Company: <u>RPI Mt Vernon, LLC</u>	Company: <u>RPI Mt Vernon, LLC</u>
Date: _____	Date: <u>11/3/2020</u>


**Each property owner listed above must have their signature notarized

STATE OF WASHINGTON }
COUNTY OF KING } ss.

I certify that I know or have satisfactory evidence that Michael Morgan is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the manager to be the free and voluntary act and deed of said RPI Mt. Vernon LLC, for the uses and purposes therein mentioned.

Given under my hand and official seal this 3 day of November, 2020




Notary Public
Residing at Des Moines
My appointment expires 7.10.22



AGENT AUTHORIZATION FORM FOR MASTER LAND USE APPLICATIONS

Use this form to authorize someone other than the property owner to apply for permits for the subject property.

Project Name: Improvements to 508 2nd Street for RPI Mount Vernon LLC
Property Address: 508 South 2nd Street
Property Parcel Numbers: 52080
City, State, Zip: Mount Vernon WA 98273

AUTHORIZATION STATEMENT

I/we, as the owners of the property identified above, authorize the below listed individual(s) to act as our agent to submit applications, receive correspondence regarding the above-listed application, and sign to receive notices on my/our behalf.

DESIGNATED AGENT

Agent #1 Name: Michael Morgan
Agent #1 Address:
Agent #1 City, State, Zip:
Agent #2 Name:
Agent #2 Address:
Agent #2 City, State, Zip:

PROPERTY OWNER SIGNATURE(S)**

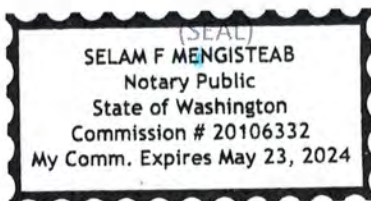
Signature: <u>McKernan</u>	Signature: _____
Printed Name: <u>Michael K McKernan</u>	Printed Name: _____
Title: <u>Manager</u>	Title: <u>Manager</u>
Company: <u>RPI Mt Vernon, LLC</u>	Company: <u>RPI Mt Vernon, LLC</u>
Date: <u>10-30-20</u>	Date: _____

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Given under my hand and official seal this 30 day of October, 2020




Selam Mengisteab
Notary Public

Residing at Washington

My appointment expires May 23, 2024

PROPERTY OWNER SIGNATURE(S)**

Signature: _____	Signature: <u></u>
Printed Name: _____	Printed Name: <u>Michael Morgan</u>
Title: <u>Manager</u>	Title: <u>Manager</u>
Company: <u>RPI Mt Vernon, LLC</u>	Company: <u>RPI Mt Vernon, LLC</u>
Date: _____	Date: <u>11/3/2020</u>


** Each property owner listed above must have their signature notarized

STATE OF WASHINGTON }
KING } ss.
COUNTY OF SKAGIT

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Given under my hand and official seal this 3 day of November, 2020




Notary Public
Residing at Des Moines
My appointment expires 7.10.22



DESIGN STANDARDS CHECKLIST FOR MULTI-FAMILY DEVELOPMENTS

① PROPERTY WHERE STRUCTURE WILL BE PLACED

ADDRESS:

PARCEL
NUMBER(S):

② GENERAL INFORMATION

This form has been created to assist Applicants in creating complete, code compliant architectural and site plans for projects subject to Design Review per MVMC Chapter 17.70. Applicants are required to complete this form with the information requested throughout the form and to check the plans they wish to submit to make sure they contain each of the items listed below.

- All plans are required to be a minimum of 11" x 17" in size and must be drawn at an architectural or engineering scale, as applicable
- Plan set must contain the following sheets in this order and each sheet is required to contain the information listed below:

1. COVER PAGE:

- a. Applicant's Name, Address, Telephone Number and Email Address
- b. Site Address, Parcel Number, and Lot number (if applicable)
- c. Lot size in Square Feet, % Lot Coverage and % Impervious Coverage
- d. Total Square Footage of the Structure
- e. Vicinity Map

2. SITE PLAN:

- a. Scale & North Arrow
- b. Location, identification, and dimensions of all property lines and easements (all easements shown on the title report, Record of Survey, or plat must be dimensioned and shown)
- c. Location, identification, and dimensions of all existing and proposed buildings and other structures
- d. Location, identification, and dimensions of all setbacks
- e. Location, identification, and dimensions of all existing and proposed on-site and adjacent streets, curbs, gutters, sidewalks, median islands, and street trees shall be included
- f. Location and dimensions of existing and proposed critical areas (wetlands, streams, steep slopes) and their associated buffer areas
- g. Existing and proposed contours and site elevations (i.e. finished grades) at 5-foot minimum increments
- h. Location and dimensions of existing and proposed parking that includes driveways and the location and size of curb cuts
- i. Location and dimensions of existing and proposed fencing or retaining walls.

3. FLOOR PLANS:

- a. Scale & North Arrow
- b. Location, identification, and dimensions of all property lines
- c. Building layout for each floor with square footages and the use of each room/area labeled
- d. Window and door location and sizes labeled

4. ELEVATIONS:

- a. Scale & North Arrow
- b. Color renderings of the exterior elevations of the entire structure including its foundation and roof
- c. Color renderings of the exterior views of the entire structure and site that shows all colored/stamped driveways, trails, and landscaping
- d. Type of product, its color, and installation/construction methods (as applicable) for all siding, roofing, trim, all other materials to be applied to the exterior of the building, driveways, sidewalks/trails/paths, and all other elements/features incorporated onto the building/site
- e. All other materials to be used or applied on all exterior walls
- f. Exterior elevations showing all mechanical equipment and other features planned to be located on, or within 10-feet, of the exterior of the building
- g. Building height, from grade, labeled on all building exterior walls of different heights

5. LANDSCAPING PLAN:

- a. Scale & North Arrow
- b. Location, identification, and dimensions of all property lines and easements
- c. Location, identification, and dimensions of all existing and proposed buildings and other structures.
- d. Location and dimensions of planting areas
- e. Location and height of proposed berming
- f. Locations, elevations, and details for any proposed landscape-related structures such as arbors, gazebos, fencing, etc.
- g. Location, size, spacing, condition (i.e., container, bare-foot), and botanical and common names of existing and proposed trees, shrubs, and ground covers
- h. Decorative rockery or similar landscape improvements in relationship to proposed and existing utilities
- i. Names and locations of existing vegetation to remain
- j. Detailed planting specifications (soil mix, planting depth and width, and bark mulch depth)
- k. Plant material key and landscape counts as per the following table:

TYPE OF LANDSCAPE MATERIAL	COMMON AND BOTANICAL NAME	NUMBER	SIZE
Deciduous Trees			2-inch caliper
Evergreen Tree			7-foot
Ornamental Tree			3-foot
Shrubs			2-gallon
Ground Cover			1-gallon

6. PLAN SHOWING THE RELATIONSHIP TO OTHER STRUCTURES:

- a. Scale & North Arrow
- b. Location, identification, and dimensions of all property lines, building footprints, curb cuts and driveways to include all of the proposed structures and structures abutting the site
- c. Roof forms, porches, building elevations, building colors, and dominate façade modulation or fenestration to include all of the proposed structures and structures abutting the subject site

③ REQUIREMENTS FOR MULTI-FAMILY DEVELOPMENTS

MF-A: FRONT YARD & HOME ENTRANCES, see pages 30 – 31 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. When there are common entries, they shall be clearly identifiable and visible from the street with well-defined walkways from pedestrian routes to building entries. If the doorway doesn't face the street, a clearly marked walkway shall connect the entry to the sidewalk.

Explain below how you have met this requirement with the plans you are submitting:

2. Front yards shall include an entrance sequence between the sidewalk and the building entrance including at least four of the following elements:
 - A. Arbors
 - B. Benches, seat walls, seat ledges or boulders large enough to sit on
 - C. Decorative pavers or stamped/colored concrete
 - D. Porches
 - E. Ornamental gate and fencing
 - F. Installation of outdoor art work
 - G. Other design elements that meet the intent of the standards

List the two elements from the list above that are identified on the plans you are submitting:

3. Buildings and the major pedestrian entry shall be oriented towards the primary pedestrian street or parking area. If buildings are in clusters they can be oriented toward a common open space with connections to and from building entries and the primary pedestrian street or parking area(s).

Explain below how you have met this requirement with the plans you are submitting:

MF-B: LANDSCAPING, see pages 32 – 33 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Consistent with MVMC Chapter 17.93 (Landscaping) 20 percent of the gross site area shall be landscaped.

Portions of a site that abut a public or private road are required to provide a 15 foot wide landscape strip along such road frontages. These landscape strips are required to be landscaped consistent with MVMC 17.93.020(D).

Landscape screening may also be required, depending on the site zoning and zoning of abutting properties, see MVMC 17.93.040 for specific screening requirements. Reductions in the required landscaping setback will be allowed for covered entry features.

List the Gross Site Area:

List the Square Footage of Landscaping Proposed:

Provide the Percentage of Landscaping to Area:

Is a 15-foot landscape strip shown along all public and private roads? ☐ Yes ☐ No

Is landscape screening required? ☐ Yes ☐ No

2. A minimum of 40 percent of the total landscaped area shall be planted with trees, shrubs, and ground cover plants other than turf or lawn.

List the Square Footage of Landscaped Proposed:

List the Square Footage of the Proposed Landscaping that will be planted with trees, shrubs, and groundcover other than turf or lawn:

Provide the percentage of tree/shrub/groundcover landscaping to the overall landscaping:

3. The use of landscaping shall be used to enhance the site, building elevations, and to screen elements such as exposed foundations, adjacent commercial or industrial development, utility boxes, outdoor storage areas, and dumpsters. Fencing and other architectural features may be used in addition to or in lieu of some landscaping.

Explain below how you have met this requirement with the plans you are submitting:

4. The following requirements for trees within parking areas replaces the tree planting requirements found within MVMC 17.93.030(E):
- A. Where parking is located between the building and the public right-of-way, one tree for every four spaces shall be provided (1:4).
 - B. Where parking is located to the side of the building and partially abuts the public right-of-way, one tree for every eight spaces shall be provided (1:8).
 - C. Where parking is not visible from the public right-of-way, one tree for every ten spaces shall be provided (1:10).

Of the three options, where is the site parking located?

- ☐ Between the Building and Right-of-Way
☐ Side of the Building and Partially abutting Right-of-Way
☐ Not visible from the Right-of-Way

How many parking spaces are provided?

How many trees are proposed within parking areas?

Have you provided the number of trees to comply with the tree to parking space ratio outlined in #4, above? ☐ Yes ☐ No

5. Site landscaping shall comply with the following minimum plant sizes:
- A. Deciduous Trees: two inch caliper
 - B. Evergreen Trees: seven feet in height and full and bushy
 - C. Shrubs: two gallon or equivalents
 - D. Ground Covers: two gallon or equivalents

Do the landscape plans list all of the above minimum plant sizes? ☐ Yes ☐ No

6. The entire site, including lawns, private and public open spaces, shall be landscaped prior to building occupancy. Lawn areas can be established with seed, hydroseed, or turf; however, they shall be established prior to building occupancy.

Explain below how you have met this requirement with the plans you are submitting:

7. Landscape beds shall have no less than two inches of fine fir bark or other similar material such as decorative rock (other materials shall be individually pre-approved by the Development Services Department).

Explain below how you have met this requirement with the plans you are submitting:

SF-C: LOCATION OF PARKING, see pages 34 – 35 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Parking areas shall be located behind or to the side of multi-family buildings.

Explain below how you have met this requirement with the plans you are submitting:

2. Parking shall not be located adjacent to street frontages.

Explain below how you have met this requirement with the plans you are submitting:

3. Curb cuts to access parking areas shall be limited to one per one hundred 150 feet of street frontage.

How many curb cuts to access parking areas are provided:

Area these curb cuts 150 feet or more apart ☐ Yes ☐ No
from one another?

4. Are submitting one of the Allowed Deviations? ☐ Yes ☐ No

If yes, explain below which deviation you are requesting and how you have met the deviation requirements with the plans you are submitting:

SF-D: PRIVATE OUTDOOR SPACES, see pages 36 – 37 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. A minimum of 40 square feet of attached private open space shall be provided for each multi-family unit. This space shall:
 - A. Consist of decks, balconies, patios, landings, yards, terraces, verandas, or other similar features.
 - B. Be physically connected to each unit.
 - C. Have no dimension less than six feet.

Do the plans identify 40 s.f. in the form of decks, balconies, patios, landings, yards, etc for every unit?

☐ Yes ☐ No

Is the private outdoor space physically connected to each unit?

☐ Yes ☐ No

Are all dimensions of the attached private open space six feet or more?

☐ Yes ☐ No

If your plans deviate from this standard list below the number of units that meet the standard, the square footage of private open space provided per unit, and other relevant details so that staff can determine whether or not a deviation can be granted:

2. These spaces shall be visually screened to the extent possible from each other and delineated from the street. Shielding may consist of walls, fences, berms, hedges, trellises, arbors and landscaping.

Explain below how you have met this requirement with the plans you are submitting:

MF-E: COMMON OPEN SPACES & USABLE RECREATION AREAS, see pages 38 – 39 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. A minimum of 100 square feet of on-site open space accessible to all residents shall be created per dwelling unit. This open space shall be provided as follows:
 - A. Shared outdoor open space(s) can satisfy 100 percent of this requirement so long as the open space area(s) meet all of the following criteria:
 - i. No dimension of the space(s) are less than 15 feet.
 - ii. The space(s) shall be accessible from the multi-family units and shall be centrally located.
 - iii. The space(s) shall include paths, seating, lighting, and enhanced landscaping, i.e. delineated landscape beds with trees, shrubs and ground cover installed to create an attractive site amenity.
 - iv. The space(s) shall include no less than two of the following: play structure (jungle gym), exercise equipment, sport court, gazebo, decorative pavers, outdoor grilling/dining area, raised beds for resident vegetable gardens, or other substantially similar type of element
 - v. The space shall be delineated from streets, parking lots, ground level windows, dumpsters, and other similar
 - B. A maximum of 25 percent of the required common open space(s) requirement can be satisfied with the construction of an indoor recreation area so long as this area meets all of the following criteria:
 - i. Must be located in a highly visible area such as a lobby or near a building entrance.
 - ii. Must be designed for and include equipment for a variety of recreational uses.
 - iii. Must be ADA accessible.
 - iv. Must be accessible to all residents.
 - C. A maximum of 40 percent of the required common open space(s) requirement can be satisfied with roof decks on the top of building(s) so long as all of the following criteria are met:
 - i. Seating areas and landscaping must be installed.
 - ii. Area must include no less than two of the following amenities:
 - a. Barbecues
 - b. Fireplaces
 - c. Pergolas or arbors
 - d. Recreational spaces
 - iii. Area must be ADA accessible.
 - iv. Area must be accessible to all residents.

List the total number of dwelling units proposed:

Multiply the total dwelling units by 100 square feet:

Does your project contain the minimum square footage of on-site open space accessible to all residents that meets the requirements listed above under A - i – iv?

Provide additional details below regarding you have met this requirement with the plans you are submitting:

2. Pedestrian walkways and public open spaces shall be connected and accessible to the residents. A site plan showing how all residents will be able to access the public open space areas shall be required.

Explain below how you have met this requirement with the plans you are submitting:

3. Landscape accent features, such as trellises, arbors, hanging baskets, site furniture, and container planting are required within open spaces, along pedestrian circulation routes and to define building and/or residential entrances.

Explain below how you have met this requirement with the plans you are submitting:

4. Critical areas and their associated buffers regulated under MVMC Chapter 15.40 shall not be allowed to count towards common open space requirements.

Does your site have critical areas and/or buffers on it? ☐ Yes ☐ No

If yes, have you made sure the critical areas and/or buffers are not counted towards your required common open space requirements? ☐ Yes ☐ No

MF-F: WINDOWS, see pages 40 – 41 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Windows shall be provided on building facades facing public and private streets (excluding alleys) and are required to comprise no less than 15 percent of the building facade area.

List the total square footage of the building façade here:

List the total square footage of the windows here:

List the percent of windows to façade here:

Second Street Frontage:

List the total square footage of the building façade here:

List the total square footage of the windows here:

List the percent of windows to façade here:

2. Windows are required to:
 - A. Have visually prominent trim that is a minimum of three inches in width on all windows; or,
 - B. Be recessed a minimum of two inches from the facade.
 - C. Be fully integrated into a cladding system, demonstrated to be part of the overall composition.
 - D. Have other details that generate depth or shadow lines bold enough to be read from the street.
 - E. Have a combination of items (A) to (D) from above.

Do all of the windows that are visible from public or private streets meet these requirements? ☐ Yes ☐ No

3. At least one of the following elements shall be included on 50 percent of the windows visible from public or private streets, open space areas, parking areas, or pedestrian ways:
 - A. Sun shading devices.
 - B. Shutters.
 - C. Planter boxes.
 - D. Arbors.
 - E. Bay windows.
 - F. Significant accent trim in addition to the three inch trim that is already required.
 - G. Distinctive window shapes such as arched or multi-paned windows.
 - H. Juliet balconies.

How many windows are visible from public or private streets, open space areas, parking areas, or pedestrian ways?

List below which of the above-listed elements (A – H) are provided on 50% of the total number of windows described as being visible from public or private streets, open space areas, parking areas, or pedestrian ways

MF-G: FAÇADE MODULATION, see pages 42 – 43 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Portions of all buildings visible from a public or private street, open space area, parking area, or pedestrian way are required to incorporate vertical modulation as follows:
 - A. Stepping back or extending vertical elements of a building in maximum 30 foot intervals. The minimum modulation depth shall be 18 inches and each modulation shall be at least eight feet in width.
 - B. Townhouse buildings are required to comply with the modulation requirements; however, the modulation intervals shall be no wider than the width of the individual units.

Explain below how you have met this requirement with the plans you are submitting:

2. In addition to the required building modulation standards outlined above, all building facades greater than 120 feet in width shall be required to demonstrate larger vertical modulation to break up the massing of such large buildings.

If applicable, explain below how you have met this requirement with the plans you are submitting:

3. Roof lines of all facades visible from a public or private street, open space area, parking area, or pedestrian way shall comply with the following:
- A. Roof forms shall be changed at a maximum of every 30 feet (measured horizontally) and shall be provided at different heights. The minimum vertical dimension of the roof line modulation shall be two feet. The roof form changes shall be distinctive and can be accomplished with different roof types, dormers, gables, etc.
 - B. Roof mounted mechanical equipment located on the exterior of the roof shall be located within wells or pockets to preserve the visible rooflines. The mechanical well floor will not be subject to the slope requirement. However, in no event shall such roof mounted equipment project above the buildings roof line as viewed from the ground or from adjacent properties.

Do your plans include different roof forms with different heights every 30 feet? ☐ Yes ☐ No

Is the minimum vertical dimension of the roof line modulation 2 feet? ☐ Yes ☐ No

Describe below how the roof form changes are distinctive:

Have you identified all roof mounted mechanical equipment? ☐ Yes ☐ No

Describe below how the mechanical equipment will be located (i.e. wells or pockets) to preserve the visible rooflines:

4. Are you submitting the Allowed Deviation for the Façade Modulation Element? ☐ Yes ☐ No

If yes, explain how you have met the deviation requirements with the plans you are submitting:

MF-H: ARCHITECTURAL DETAILS, see pages 44 – 45 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Structures shall be required to incorporate all of the following architectural details:
 - A. Window shapes and patterns demonstrated to be part of the overall composition.
 - B. Use of different materials, patterns, and/or colors to distinguish modulations, and to emphasize scales and details. Material and color changes shall occur at intersecting planes.
 - C. The primary building entrance(s) shall be clearly defined and separated architectural feature(s) of the building.
 - D. All openings shall be articulated or appropriately trimmed.
 - E. The proportion, type, material, and shape of windows and doors shall complement the architectural style of the building.

Explain below how you have met this requirement with the plans you are submitting:

2. Facades with similar, repetitive elements shall be separated to add variety. The separation intervals will be design dependent. An example of how a townhouse building could separate design elements has been illustrated on page 45.

Do your plans comply with this standard? ☐ Yes ☐ No

3. Special attention shall be paid to visible stairways. They shall be designed to be an integral part of the overall architecture of the building.

Explain below how you have met this requirement with the plans you are submitting:

4. When multiple structures with similar floor plans or shapes are repeated in a project, the horizontal and vertical modulation, rooflines, and architectural details required within this element shall be changed on each building to add variety.

Explain below how you have met this requirement with the plans you are submitting:

5. When garage doors are visible from a public or private street, open space area, parking area, or pedestrian way they are required to comply with the "SF-G: Garage Facades" on page 22 required for small lots, duplexes, and PUD developments.

Explain below how you have met this requirement with the plans you are submitting:

MF-I: LIGHTING, see pages 46 – 47 within the Design Review Handbook for examples of how compliance can be achieved for this element.

1. A photometric analysis and plan shall be submitted demonstrating lighting of required areas, light levels, shielding, and light impacts to abutting properties.

Have you provided a copy of your photometric analysis with this submittal? ☐ Yes ☐ No

2. Lighting used in parking lots shall not exceed a maximum of 16 feet in height. Pedestrian scale lighting located in areas other than parking lots shall be a maximum of 13 feet in height.

Do your plans comply with this standard? ☐ Yes ☐ No

Provide details below explaining how your plans comply with this standard:

3. Parking lot lighting shall be appropriate to create adequate visibility at night and evenly distributed to increase security.

Do your plans comply with this standard? ☐ Yes ☐ No

Provide details below explaining how your plans comply with this standard:

4. All lighting shall be glare-free and shielded from the sky and adjacent residential properties and structures, either through exterior shields or through optics within the fixture.

Do your plans comply with this standard? ☐ Yes ☐ No

Provide details below explaining how your plans comply with this standard:

5. Lighting levels and design should comply with the Illuminating Engineering Society of North America's Recommended Practices and Design Guidelines, latest edition.

Do your plans comply with this standard? ☐ Yes ☐ No

Provide details below explaining how your plans comply with this standard:

6. Pedestrian scale lighting shall be provided to create a condition of personal security which shall include yard lighting, lighting of common open spaces and trails, parking lot lighting, and perimeter security lighting.

Do your plans comply with this standard? ☐ Yes ☐ No

Provide details below explaining how your plans comply with this standard:

MF-J: SCREENING OF TRASH & SERVICE AREAS, see pages 48 – 49 within the Design Review Handbook for examples of how compliance can be achieved for this element.

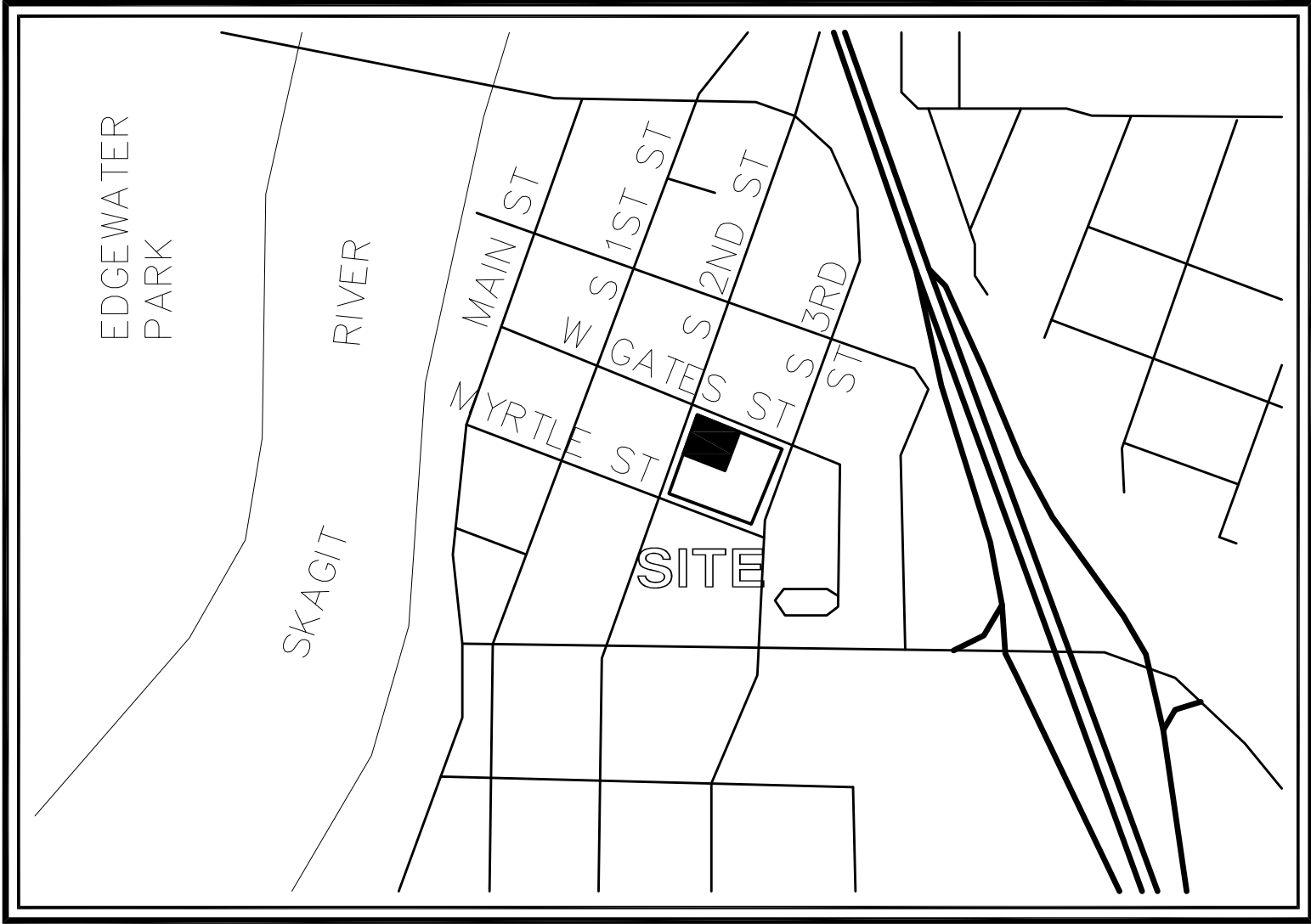
1. All trash collection areas (dumpsters, compactors, and recycling areas), electrical panels, and mechanical equipment areas shall be located and designed to minimize negative visual impacts on the streetscape, building residents, and adjacent properties. Specifically:
 - A. A structural enclosure made of masonry, composite wood, or other similar decay-resistant material shall be constructed to completely screen trash and recycling enclosures.
 - B. Landscaping and other elements such as trellises or arbors shall be installed as part of the enclosure.
 - C. Enclosures shall incorporate architectural features similar to the multi-family building it serves.

Provide details below explaining how your plans comply with this standard:

2. Utility meters, electrical conduit, and other similar elements shall be located and designed to minimize negative visual impacts on the streetscape, building residents, and adjacent properties. Project designers are encourage to coordinate with their service providers early in the design process to determine the best approach for meeting this requirement. If such elements are mounted in locations visible from the street, pathways, shared open space, or shared vehicular areas, they must be screened with vegetation and/or integrated into the building's architecture.

Provide details below explaining how your plans comply with this standard:

*****After filling out this form save it to your computer and name it Design Review Checklist. This is important because you will be uploading this document into the City's Permit Portal and you will be required to upload this document as the native PDF (not a scanned copy)*****



VICINITY MAP
NOT TO SCALE

DRAWING INDEX	
PHASE I	
A1	SITE PLAN
A2	FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS
L1	LANDSCAPE PLAN
PHASE II	
A5	SITE PLAN
A6	FLOOR PLANS
A7	EXTERIOR ELEVATIONS
A8	BUILDING SECTIONS
L2	LANDSCAPE PLAN
S	SURVEY

DESCRIPTION OF THE WORK	
PHASE I	
7,946 sf remodel to existing 9,766 sf building.	
Basement:	1,554 sf remodel (1) Apartment
First Floor:	3,196 sf remodel (2) apartments
Second Floor:	1,820 sf existing Professional Office
	3,196 sf remodel (2) Apartments
PHASE II	
third floor and elevator addition, remodel for new roof deck	
Basement	93 sf addition Elevator
First Floor	169 sf addition Elevator and Lobby
Second Floor	230 sf addition Elevator and Lobby
	360 sf remodel Roof Deck
Third Floor	243 sf addition Elevator and Lobby
	3,815 sf addition (2) Apartments

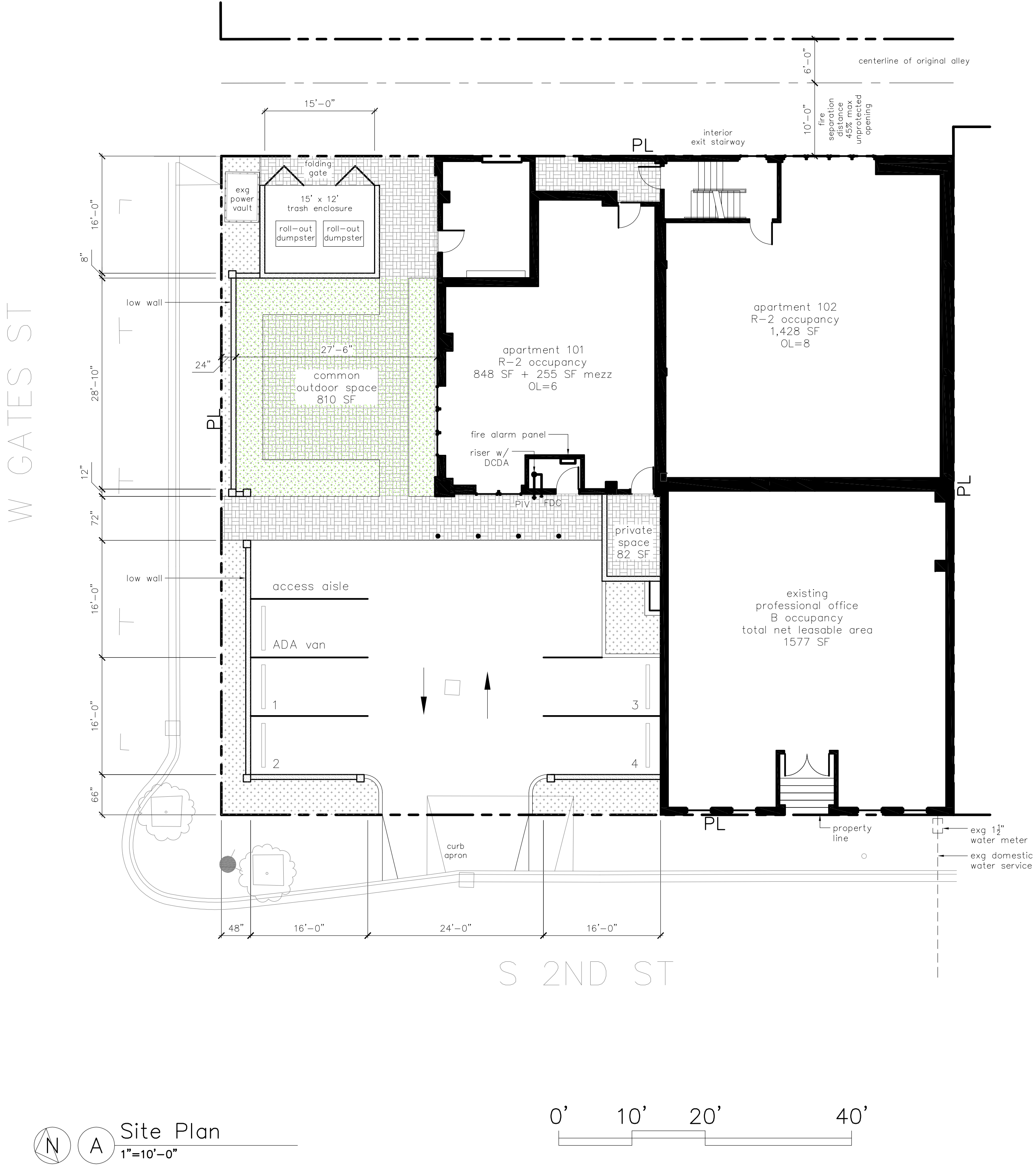
OUTDOOR SPACE PROVIDED (PHASE I)		
Apartment	Private	Common
001	=	180 sf
101	=	100 sf
102	=	180 sf
201	68 sf	100 sf
202	=	180 sf
total		740 sf

COMMON OUTDOOR SPACE	
Total Required	740 sf
Ground Level Provided	810 sf

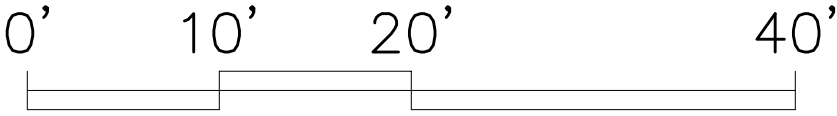
OUTDOOR SPACE PROVIDED (PHASE II)		
Apartment	Private	Common
001	=	180 sf
101	=	180 sf
102	=	180 sf
201	=	180 sf
202	=	180 sf
301	=	180 sf
302	=	180 sf
total		1260 sf

COMMON OUTDOOR SPACE	
Total Required	1260 sf
Ground Level Provided	810 sf (64%)
Roof Deck Provided	450 sf (36%)

PROJECT LOCATION	
Address	508 South 2ND Street Mount Vernon, WA 98273
Parcel	52080
ZONING CODE INFORMATION	
Zone	MVMC 17.45 Downtown District MVMC 17.45.020.A Subdistrict C-1a
Existing Use	Utility Company Professional Office Warehouse with Caretaker Residence
Proposed Change in Use	Permitted Use Retail Multifamily residential without ground-level residential units of 35 units or less.
1st floor: 2nd & 3rd floor:	Professional Office D. Office use with more than 500 SF at ground level Type III, Conditional Use per MVMC 17.45.050 required
No Change to Existing Use	
MVMC 17.45.070 Development Standards	
A. Applicable to all C-1 Zones:	
Minimum Lot Area & Width	Unrestricted
Minimum Setbacks	Unrestricted
Density Requirements	Unrestricted
Design Standards	Design Review per 17.70 MVMC
Parking Requirements MVMC 17.84.020. E-1	Per 17.84 MVMC All off-street parking not required to be on the premises. Property is Zoned C-1a and is within 1,000 FT of City Lot abutting the riverwalk trail.
Signage Requirements	Per 17.87 MVMC
Landscaping Requirements 17.93.020.I	Per 17.93 MVMC Improvement < 50% & Change of Use in C-1 zone responsible for installing or replacing street trees in the ROW
17.45.070.B Development Standards Applicable to C-1a Zone Only: However: However:	Unrestricted Height and Stories. shall comply with Shoreline Management Master Program shall comply IFC and IBC limitations to height and stories.



Site Plan
1"=10'-0"





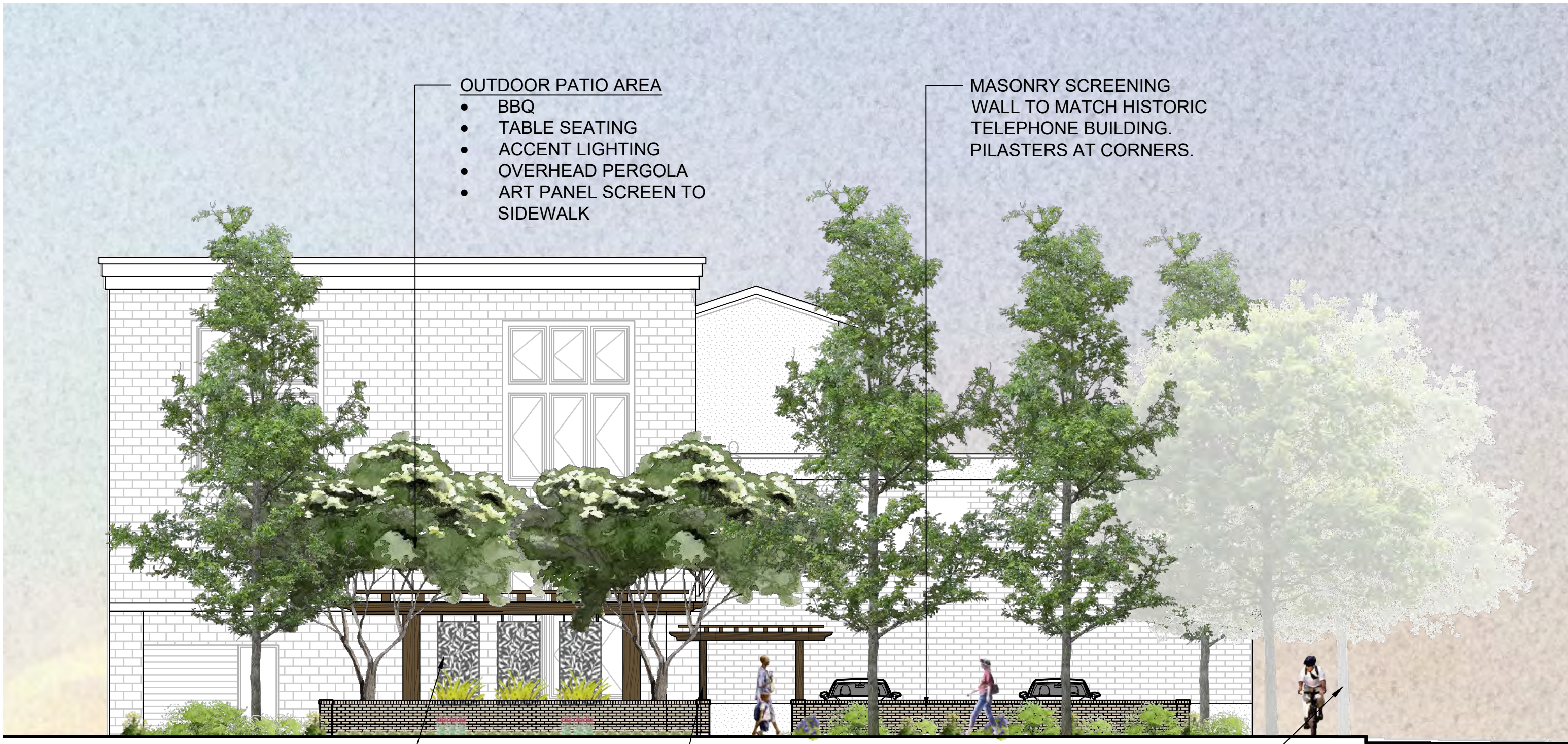
PLANTING PLAN
1/8" = 1'-0" (CHECK SCALE BAR FOR ACCURACY)



PLANT SCHEDULE			
TREES	CODE	BOTANICAL NAME	COMMON NAME
	ACE GRI	Acer griseum	Paperbark Maple
	ACE TWR	Acer palmatum 'Twombly's Red Sentinel'	Twombly's Red Sentinel Japanese Maple
	LIQ FAS	Liquidambar styraciflua 'Fastigiata'	Sweetgum 'Fastigiata'
	VIB STE	Viburnum opulus 'Roseum'	European Snowball Viburnum
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	BER BAG	Berberis thunbergii 'Bagatelle'	Bagatelle Red Barberry
	CHA GRA	Chamaecyparis obtusa 'Gracilis'	Slender Hinoki Cypress
	HYD WAV	Hydrangea macrophylla 'Blue Wave'	Blue Wave Lacecap Hydrangea
	ILE GGI	Ilex glabra 'SMNGAB17 TM'	Gem Box Inkberry Holly
	MAH REP	Mahonia repens	Creeping Mahonia
	NAN MOO	Nandina domestica 'Moon Bay TM'	Heavenly Bamboo
	RHO RA2	Rhododendron x 'Ramapo'	Ramapo Rhododendron
	CAR OSH	Carex oshimensis 'Everoro'	Everoro Japanese Sedge
	HEL ORI	Helleborus orientalis	Lenten Rose
	HEM YH2	Hemerocallis x	Hybrid Daylily
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME
	HEU B20	Heuchera x 'Black Beauty'	Coral Bells
	LAV DEN	Lavandula dentata	French Lavender
	LIR BI2	Liriope spicata 'Big Blue'	Creeping Lily Turf
	MIS LIT	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass
	POL MUN	Polystichum munitum	Western Sword Fern
	SED PU2	Sedum x 'Purple Emperor'	Stoncrop
	AJU RCC	Ajuga reptans 'Black Scallop'	Black Scallop Carpet Bugle
	ARC UVA	Arctostaphylos uva-ursi	Kinnikinnick
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	AJU RCC	Ajuga reptans 'Black Scallop'	Black Scallop Carpet Bugle
	ARC UVA	Arctostaphylos uva-ursi	Kinnikinnick

DESIGN STANDARDS AND GUIDELINES IN MOUNT VERNON

Parking Area	
REQUIRED	Street Trees and low concrete wall
PROVIDED	Street Trees and low masonry wall tied to adjacent historic structure
Multi-family front yards (MF-A-2)	
REQUIRED	Four elements from a list of seven options
PROVIDED	1-Trellis / arbor at main entrance
	2-Decorative accent paver entrance walkway
	3-Accent brick wall as fence alternative to match parking screening wall
	4-Artistic screening panel facing street
Usable Recreation Areas and Common Spaces (MF-E1)	
REQUIRED	Two elements from a list of eight options
PROVIDED at GROUND LEVEL	1- Overhead Pergola
	2-Decorative accent paver patio areas
	3- BBQ for residents
	4 -Tables and Chairs



1 - NORTH ELEVATION
1/8" = 1'-0" (CHECK SCALE BAR FOR ACCURACY)



508 Second Street, Mount Vernon
Conceptual Landscape Plan

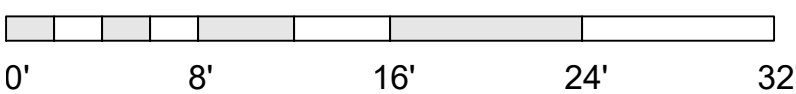
Prepared for:

RPI Mt Vernon, LLC
2849 West Viewmont Way W.
Seattle, WA 98199

CONTACT: Michael Morgan

Prepared by:

eccosDesign
Landscape Architecture and Planning
Mount Vernon, WA 99273
p. 360.419.7400
f. 800.508.2017



PHASE ONE

L-1

3.17.2020



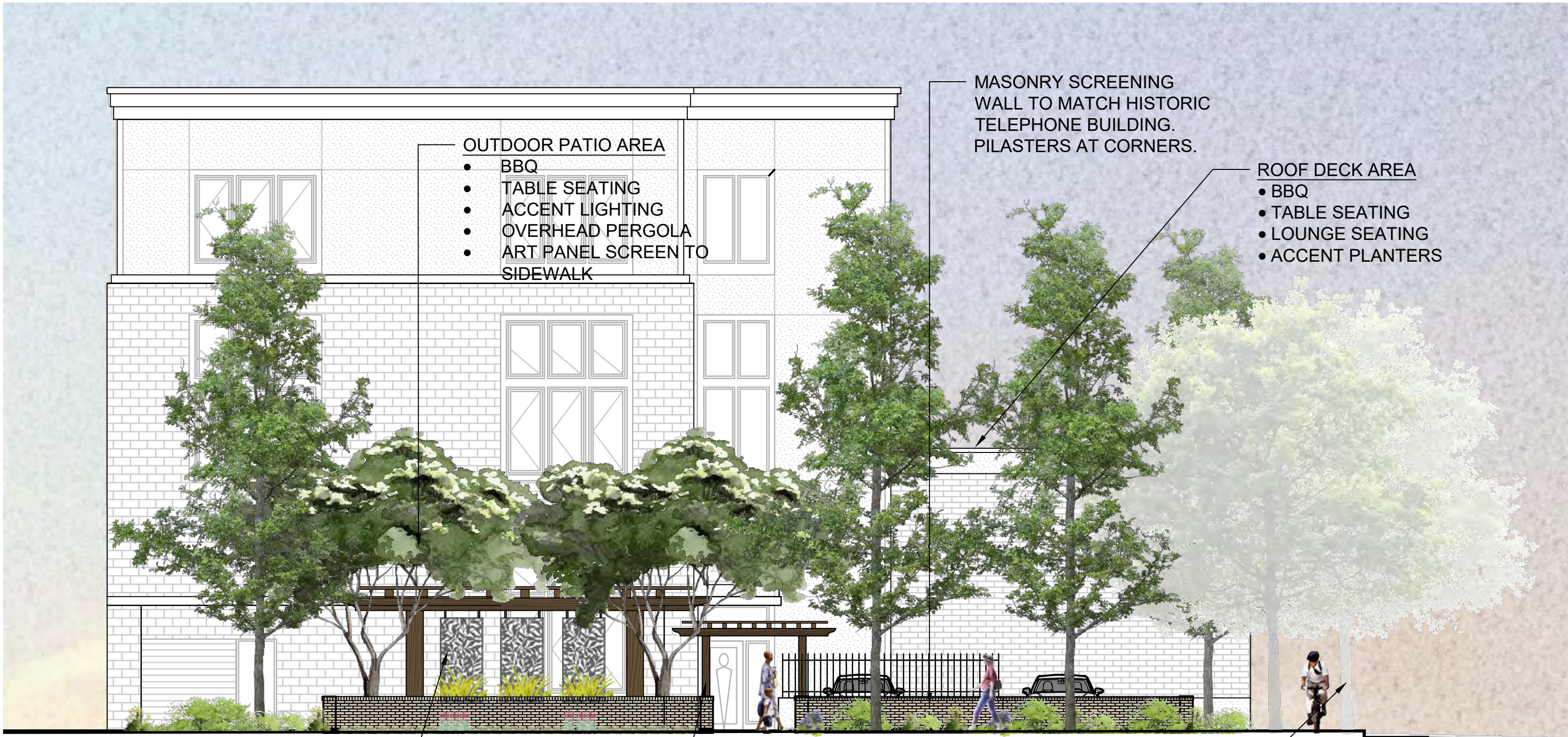
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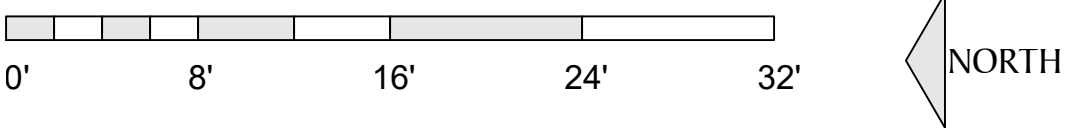
1 - NORTH ELEVATION
1/8" = 1'-0" (CHECK SCALE BAR FOR ACCURACY)



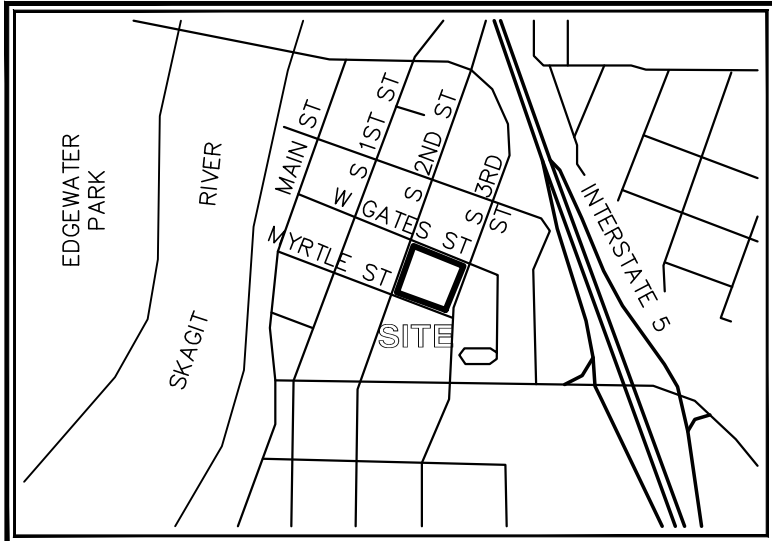
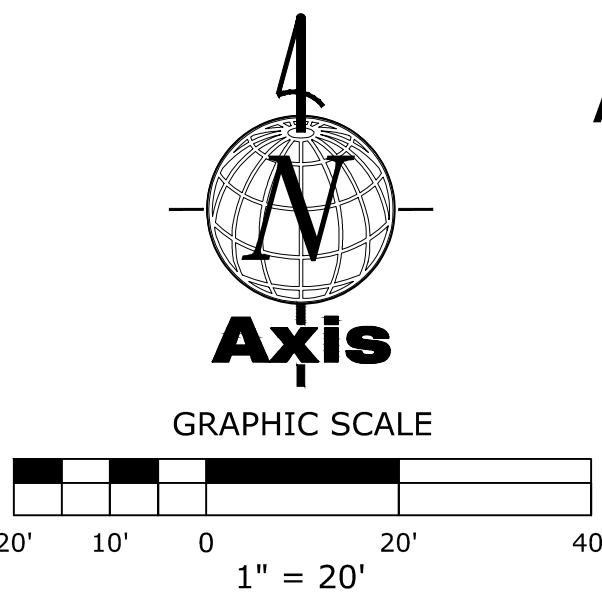
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ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

MATTERS OF RECORD PER TITLE

- SUBJECT TO COVENANTS CONDITIONS, RESTRICTIONS AND ADDITIONAL ITEMS AS SET FORTH ON SURVEY, AS RECORDED UNDER RECORDING NUMBER 9209080082.
- SUBJECT TO COVENANTS CONDITIONS, RESTRICTIONS AND ADDITIONAL ITEMS AS SET FORTH ON SURVEY, AS RECORDED UNDER RECORDING NUMBER 200207290135. TOGETHER WITH AN AFFIDAVIT OF MONOR CORRECTION OF SURVEY AS RECORDED UNDER RECORDING NUMBER 200208260145.
- SUBJECT TO RESERVATIONS AND EXCEPTIONS IN UNITED STATES PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; INDIAN TREATY OR ABORIGINAL RIGHTS.
- SUBJECT TO CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF ANY.
- SUBJECT TO ASSESSMENTS, IF ANY, LEVED BY THE CITY OF MOUNT VERNON.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 1, BLOCK 13, EXCEPT E. 6 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 2, LESS E. 6 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 3 & 4, BLOCK 13, EXCEPT E. 10 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 5 & 6, BLOCK 13, EXCEPT W. 6 FEET.
- PERTAINS TO GENERAL AND SPECIAL TAXES AND CHARGES FOR THE 2019 YEAR. AFFECTING LOT 7 & 8, BLOCK 13, LESS W. 6 FEET.
- THE PROPERTY HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXCEPT. HOWEVER, IT WILL BECOME TAXABLE ON THE DATE OF THE EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO THE LIEN OF REAL PROPERTY TAXES FOR THE BALANCE OF THE YEAR FROM THAT DATE FOR TAX ACCOUNT NO'S: P52078, P52079, P52081 & P52082. UNDER LEVY CODE 0930.
- SUBJECT TO LIABILITY IF ANY FOR PERSONAL PROPERTY TAXES.
- PERTAINS TO A DEED OF TRUST PER RECORDING NUMBER 201210100079, AFFECTING LOTS 3 AND 4, BLOCK 13.
- PERTAINS TO THE RIGHT OF ANY PARTY INTEREST TO SUE OR PETITION TO HAVE SET ASIDE, MODIFIED OR CONTEST A JUDICIAL OR NON-JUDICIAL FORECLOSURE OR FORFEITURE, OR ANY DEED PURSUANT HERETO, THROUGH WHICH TITLE TO THE LAND IS DERIVED; AND ANY LEANS, ENCUMBRANCES AND/OR OWNERSHIP INTERESTS WHICH MAY EXIST AS A RESULT OF ANY ACTS OR OMISSIONS OF THE FORECLOSING PARTIES, OR AS A RESULT OF SUCH SUIT OR PETITION.
- ANY UNRECORDED LEASEHOLDS, RIGHT OF VENDORS AND HOLDERS OF SECURITY INTERESTS OR PERSONAL PROPERTY INSTALLED UPON THE LAND AND RIGHTS OF TENANTS TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERMS.

BASIS OF BEARINGS

BASIS OF BEARINGS NORTH 19°41'38" EAST ALONG THE MONUMENTED CENTERLINE OF SOUTH SECOND STREET BETWEEN THE GATES STREET ANN MYRTLE STREET.

HORIZONTAL DATUM

NAD '83/11 GPS HxGN SMARTNET

VERTICAL DATUM

NAVD '88 PER GPS WASHINGTON STATE DEPARTMENT OF TRANSPORTATION MONUMENT #2288

BENCHMARKS

ORIGINATING BENCHMARK: WSDOT #2288, A WSHD BRASS DISC, CEMENTED INTO A DRILL HOLE IN THE CONCRETE SIDEWALK AND LEVEL WITH SURFACE. ELEVATION: 42.38'

TEMPORARY BENCHMARKS:

TBM 'A' USED EXISTING MONUMENT IN CASE LOCATED AT THE INTERSECTION OF MYRTLE STREET AND S. 2ND STREET. ELEVATION: 25.79'

TBM 'B' USED EXISTING MONUMENT IN CASE LOCATED AT THE INTERSECTION OF MYRTLE STREET AND S. 2ND STREET. ELEVATION: 26.63'

TBM 'C' SET PK NAIL & WASHER, NEAR NORTHWESTERLY PORTION OF SITE, 3.30' WESTERLY OF FACE OF VERTICAL CURB IN PARKING LOT & 7.30' NORTH OF CB 1765. ELEVATION: 25.94'

LEGAL DESCRIPTION

LOTS 1, 2, 5, 6, 7 AND 8, BLOCK 13, MAP OF MOUNT VERNON, GATES 1ST AND 2ND ADDITIONS TO MOUNT VERNON, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 98, RECORDS OF SKAGIT COUNTY, WASHINGTON.

EXCEPT THE EASTERLY 6 FEET OF LOTS 1 AND 2 AS CONVEYED TO THE CITY OF MOUNT VERNON BY DEED RECORDED UNDER AUDITOR'S FILE NO. 144341;

AND EXCEPT THE WESTERLY 6 FEET OF LOTS 5, 6, 7 AND 8 AS CONVEYED TO THE CITY OF MOUNT VERNON BY DEED RECORDED UNDER AUDITOR'S FILE NO. 144341;

AND LOTS 3 AND 4, BLOCK 13, MAP OF MOUNT VERNON, GATES 1ST AND 2ND ADDITIONS TO MOUNT VERNON, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 98, RECORDS OF SKAGIT COUNTY, WASHINGTON;

EXCEPT THE EAST 10 FEET THEREOF FOR ALLEY, AS CONVEYED TO THE CITY OF MOUNT VERNON, BY DEED RECORDED MARCH 25, 1921 IN BOOK 121 OF DEEDS, PAGE 523.

SITUATED IN SKAGIT COUNTY, WASHINGTON.

NOTES

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON AUGUST, 2019 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THIS SURVEY DISCLOSES FACTORS OF RECORD AND ON THE GROUND AFFECTING THE SUBJECT PROPERTY BOUNDARY, BUT IT DOES NOT PURPORT TO LEGALLY RESOLVE RELATED PROPERTY LINE DISPUTES. WHERE AMBIGUITIES ARE NOTED, AXIS RECOMMENDS THAT THE OWNER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL PROPERTY LINE DISPUTES.

1' CONTOURS INTERVAL DERIVED FROM DIRECT FIELD OBSERVATION.

THIS SURVEY MEETS UNITED STATES NATIONAL MAP ACCURACY STANDARDS FOR VERTICAL ACCURACY OF ONE HALF THE CONTOUR INTERVAL.

TABLE A ITEMS

- TAX PARCELS & ADDRESSES
P52078 220 MYRTLE STREET
P52079 220 MYRTLE STREET
P52080 508 S. 2ND ST.
P52081 GATES STREET
P52082 S. 3RD ST.
- GROSS LAND AREA
P52078 4,702 SQ. FT.
P52079 4,702 SQ. FT.
P52080 9,001 SQ. FT.
P52081 9,404 SQ. FT.
P52082 9,406 SQ. FT.
OVERALL 37,215 SQ. FT.
- CITY OF MOUNT VERNON CLASSIFIES THE PARCELS UNDER THE C-1 ZONING DESIGNATION AS UPDATED ON 9/12/17.
- EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL AS SHOWN.
- PARKING STALLS
P52078 15 STANDARD
P52079 9 STANDARD
P52080 NO MARKINGS FOUND, ARCHIVED GOOGLE EARTH IMAGES SHOW A MAXIMUM BEST FIT OF 14 STANDARD STALLS & 1 HANDICAPPED STALL
P52081 17 STANDARD
P52082 15 STANDARD & 1 HANDICAPPED STALL

A OVERALL TOTAL OF 58 PARKING STALLS, 2 OF WHICH ARE HANDICAP ACCESSIBLE. EXCLUDING THE NON MARKED STALLS ON (P52080).

UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON ASBUILT FIELD LOCATION OF EXISTING STRUCTURES, FIELD LOCATION OF UTILITIES BASED ON LOCATOR PAINT MARKINGS AND LOCATIONS BASED ON UTILITY MAPS FROM CITY AND UTILITY DRAWINGS INDICATING REPORTED UTILITY INSTALLATIONS. OTHER UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS MADE TO VERIFY UTILITY ROUTINGS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN FOR VERIFICATION.

LEGEND

- SET BENCHMARK
- FOUND MONUMENT IN CASE
- FOUND SURFACE MONUMENT
- GAS METER
- SIGN
- BOLLARD
- LCL LOCAL LOW POINT
- RIGHT TURN ARROW
- THROUGH ARROW
- HANDICAPPED PARKING SPACE
- CROSSWALK POST DOUBLE BUTTON
- PLANTER AREA
- SANITARY SEWER MANHOLE
- CATCH BASIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- HOSE BIB
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- WATER MANHOLE
- POWER JUNCTION BOX
- STREET LIGHT
- TELECOMMUNICATIONS RISER
- GUY ANCHOR
- UTILITY POLE W/ LIGHT & UNDERGROUND CONDUIT
- UTILITY POLE W/ LIGHT, UNDERGROUND CONDUIT & TRANSFORMER
- UTILITY POLE W/ TRANSFORMER & UNDERGROUND CONDUIT
- UTILITY POLE
- POWER VAULT
- 12"D DECIDUOUS
- 12"M MAPLE
- CONCRETE PAVING
- ASPHALT PAVING
- BUILDINGS
- BRICK PAVING
- STORM DRAIN LINE
- OVERHEAD POWER LINE
- STORM/SANITARY SEWER LINE
- GUARD RAIL LINE
- STORM DRAIN LINE
- STORM/SANITARY SEWER LINE
- GAS
- WATER LINE (PER ARCHIVED GOOGLE MAP IMAGES)

ALTA NOTES

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES NAMED HEREIN. RIGHTS TO RELY ON OR USE THIS SURVEY DO NOT EXTEND TO ANY UNNAMED PARTY WITHOUT EXPRESS RECERTIFICATION BY AXIS FINDING AND MAPPING AND THE PROFESSIONAL SURVEYOR WHOSE STAMP IS SHOWN ON THIS SURVEY.

THIS PROPERTY HAS LEGAL ACCESS TO SOUTH 2ND STREET, WEST GATES STREET, SOUTH 3RD STREET AND MYRTLE STREET FOR VEHICLE ACCESS SHOWN HEREON AS PUBLIC RIGHT-OF-WAY.

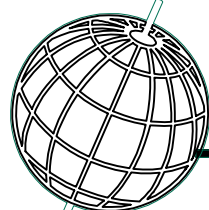
SURVEY BASED ON TITLE REPORT FROM CHICAGO TITLE INSURANCE COMPANY FILE NO. 620039445, DATED AUGUST 6TH, 2019 AT 8:00 A.M.

2016 ALTA CERTIFICATION

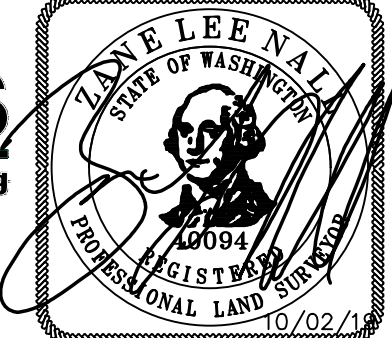
TO THE RPI MT. VERNON, LLC. A WASHINGTON LIMITED LIABILITY COMPANY, BRADFOR HOLDINGS, LLC. AND CHICAGO TITLE INSURANCE COMPANY OF WASHINGTON:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 6a, 7a, 8 & 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 15TH, 2019. DATE OF PLAT OR MAP: AUGUST 21, 2019.

ZANE L. NALL, PLS
REGISTRATION NUMBER: 40094



Axis
Survey & Mapping
15241 NE 90TH ST
REDMOND, WA 98052
TEL. 425.823-5700
FAX 425.823-6700



PACLAND

6814 GREENWOOD AVE N.
SEATTLE, WA 98103

ALTA/NSPS LAND TITLE SURVEY

RPI MT. VERNON, LLC

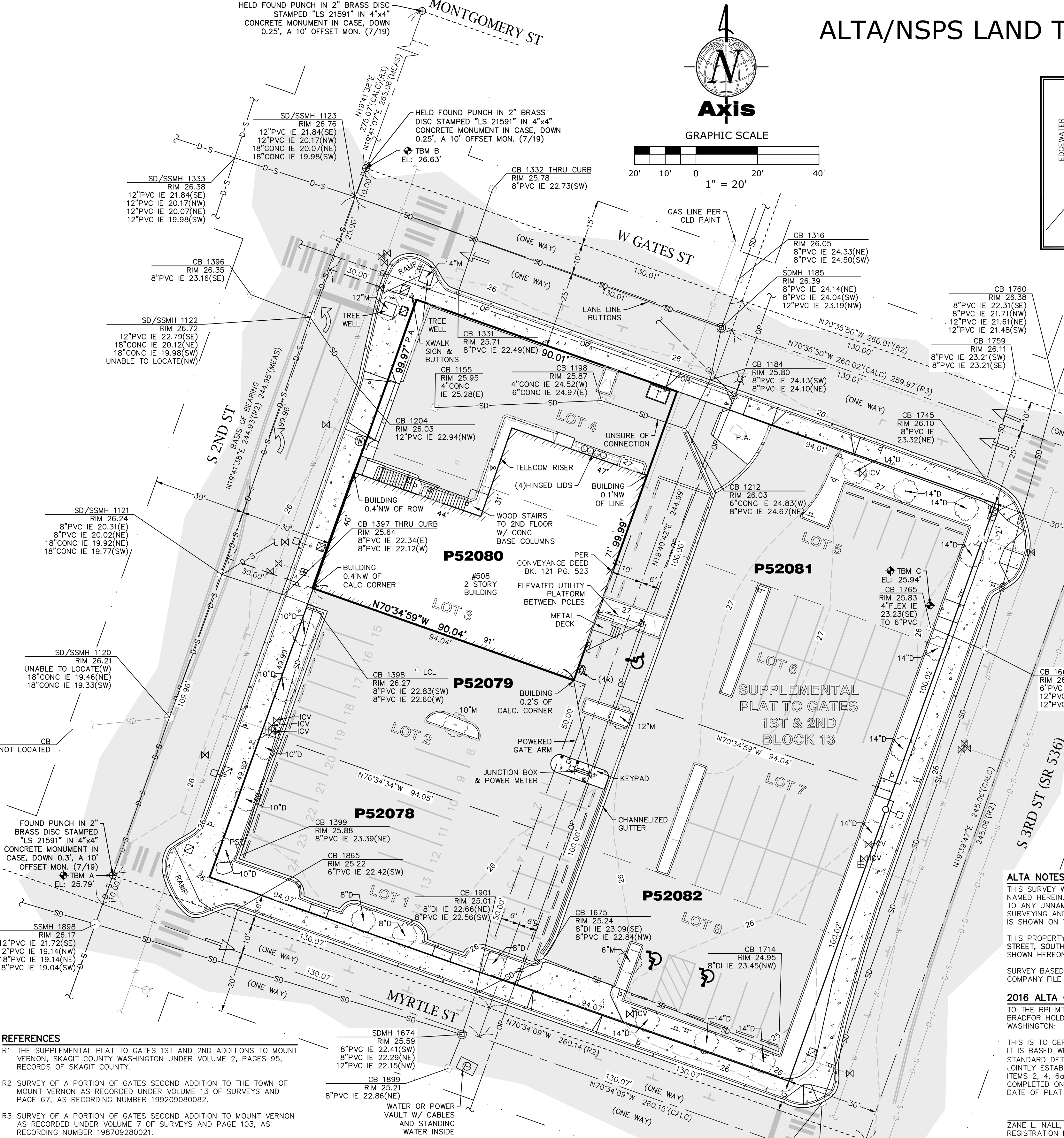
TPN: P52078, P52079, P52080, P52081 & P52082

www.axismap.com

JOB NO. 19-135 DATE 10/02/19

DRAWN BY ERM CHECKED BY ZLN

SCALE 1" = 20' SHEET 1 OF 1

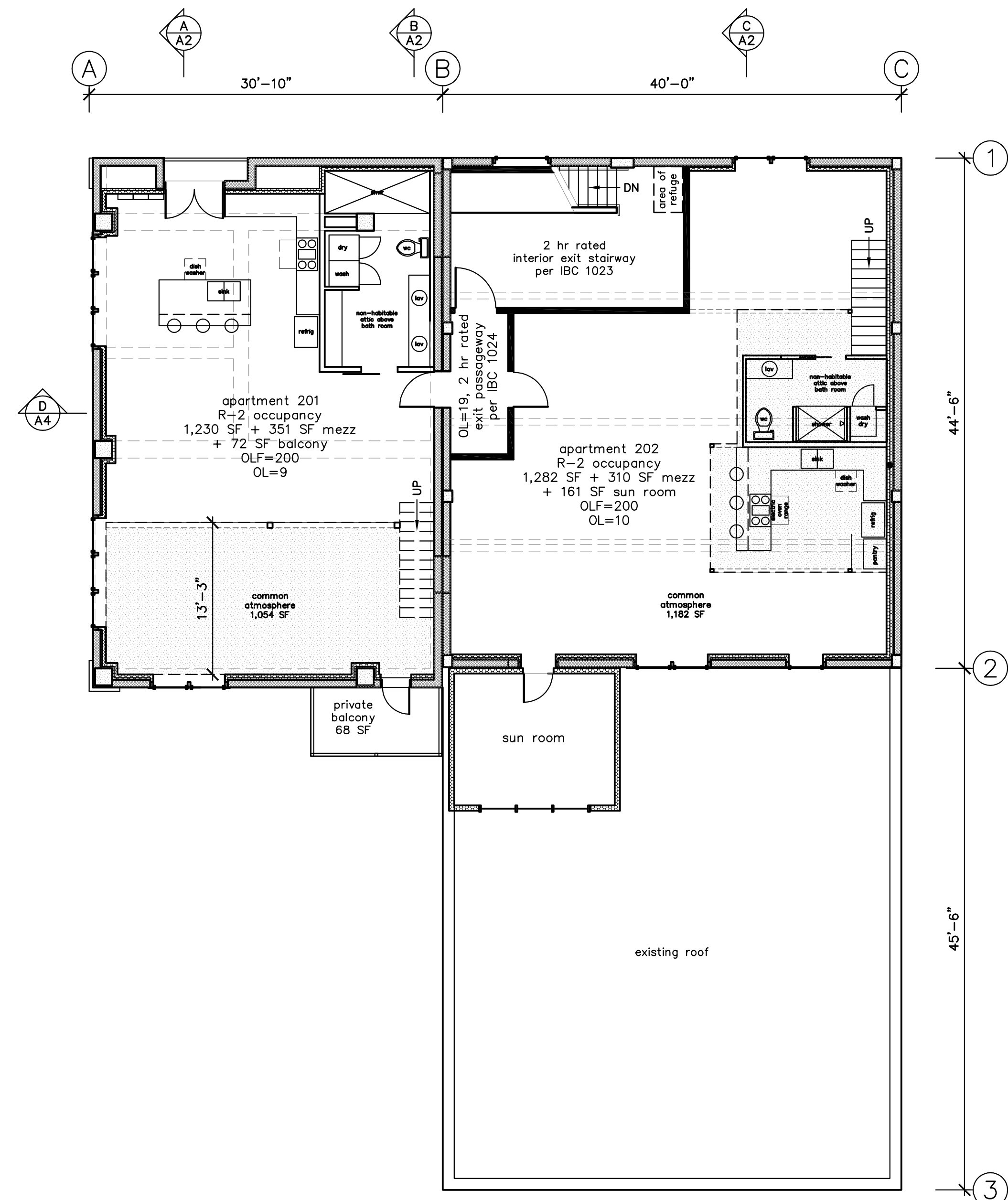
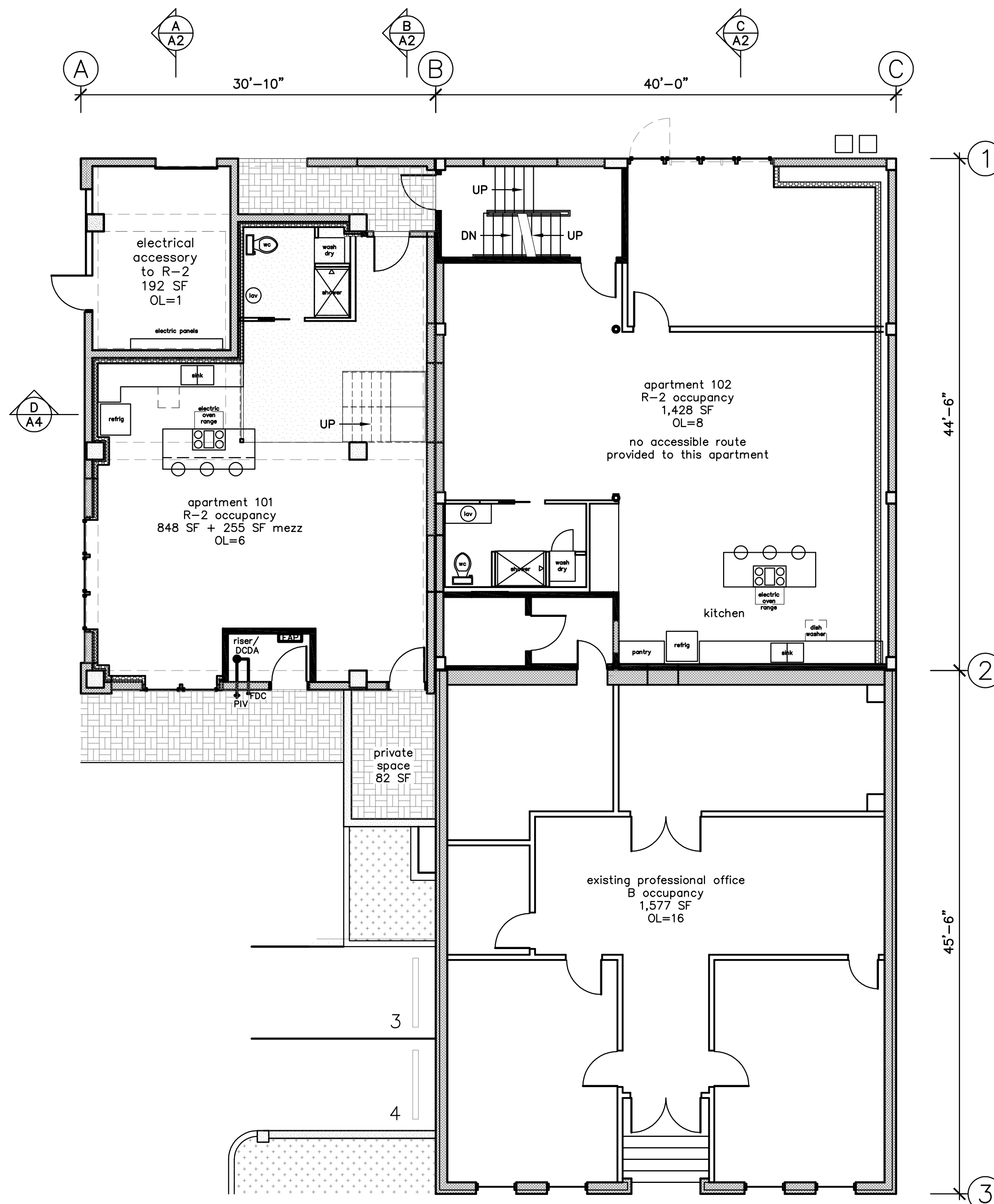
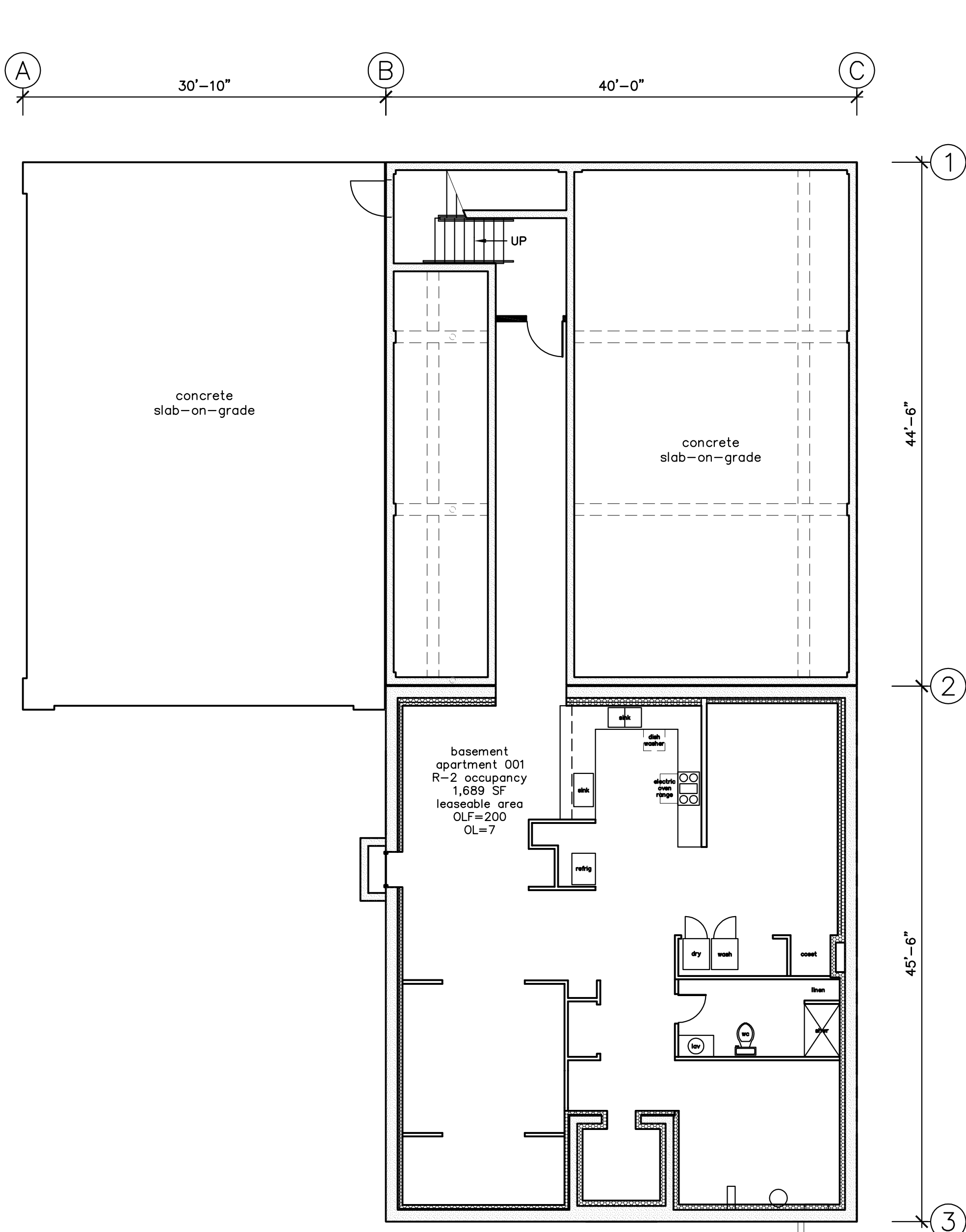


REFERENCES

- R1 THE SUPPLEMENTAL PLAT TO GATES 1ST AND 2ND ADDITIONS TO MOUNT VERNON, SKAGIT COUNTY WASHINGTON UNDER VOLUME 2, PAGES 95, RECORDS OF SKAGIT COUNTY.
- R2 SURVEY OF A PORTION OF GATES SECOND ADDITION TO THE TOWN OF MOUNT VERNON AS RECORDED UNDER VOLUME 13 OF SURVEYS AND PAGE 67, AS RECORDING NUMBER 199209080082.
- R3 SURVEY OF A PORTION OF GATES SECOND ADDITION TO MOUNT VERNON AS RECORDED UNDER VOLUME 7 OF SURVEYS AND PAGE 103, AS RECORDING NUMBER 198709280021.

EQUIPMENT NOTES

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA GS14 GPS/GNSS EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC 1201 TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WACS 332-130-080/090.



Basement Plan
1/8"=1'-0"

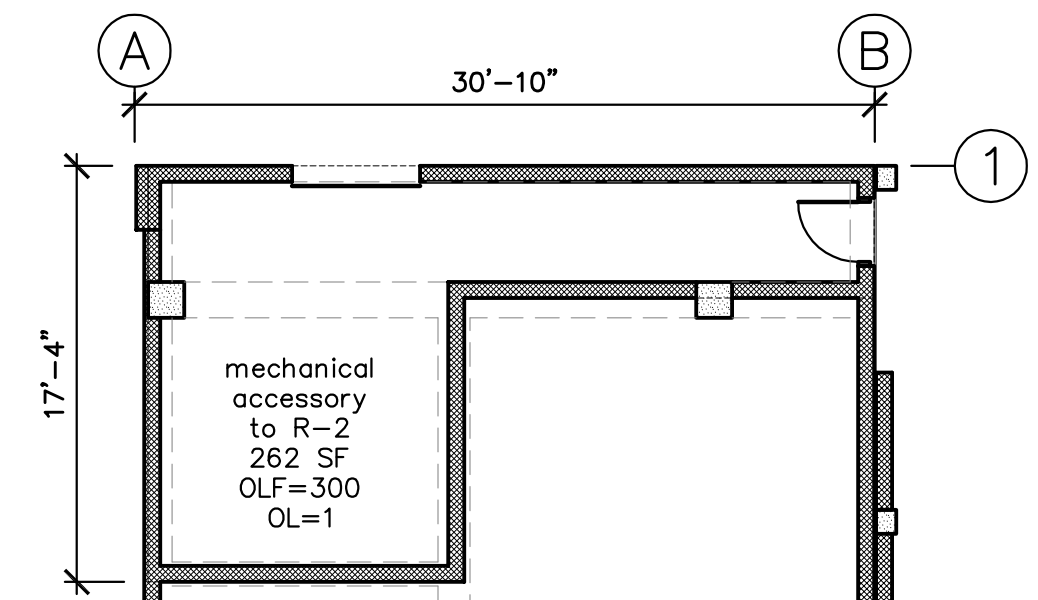
First Floor Plan
1/8"=1'-0"

Second Floor Plan
1/8"=1'-0"

SYMBOLS

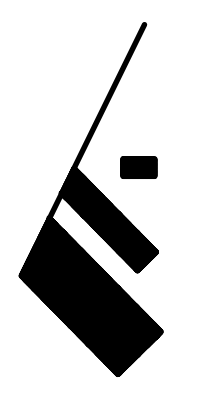
- Existing Concrete
- Existing CMU
- Interior Nonbearing Nonrated Partition Wall
- Insulated Nonrated Wall
- 1 or 2 hour Fire Barrier

Existing CMU walls to be reinforced with 4-6 inches shotcrete at selected locations to be determined



Mech Mezzanine
1/8"=1'-0"

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546



Improvements to 508 2nd Street
for RPI Mount Vernon LLC

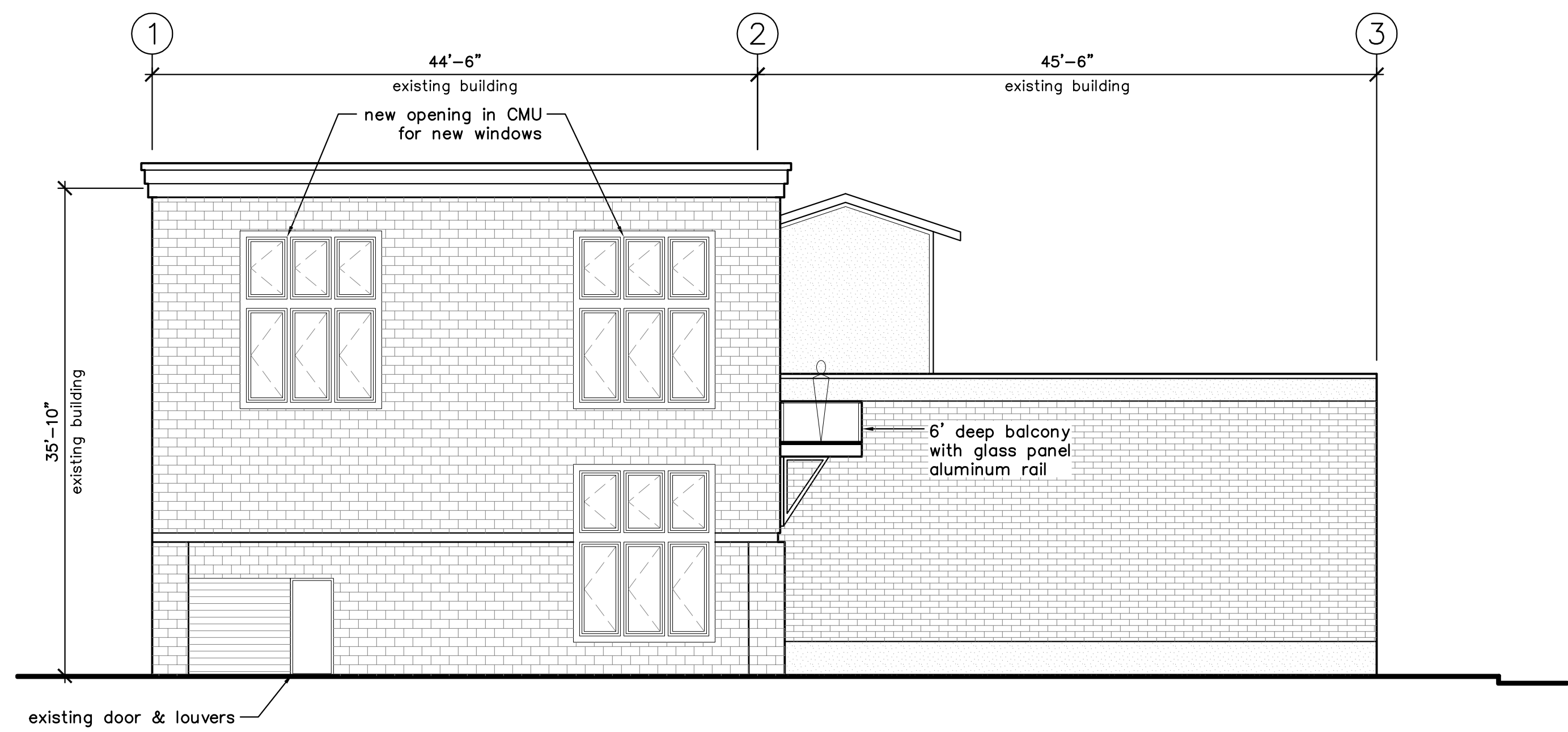


PHASE I

A2

Date:
SCHEMATIC DESIGN
03/12/21

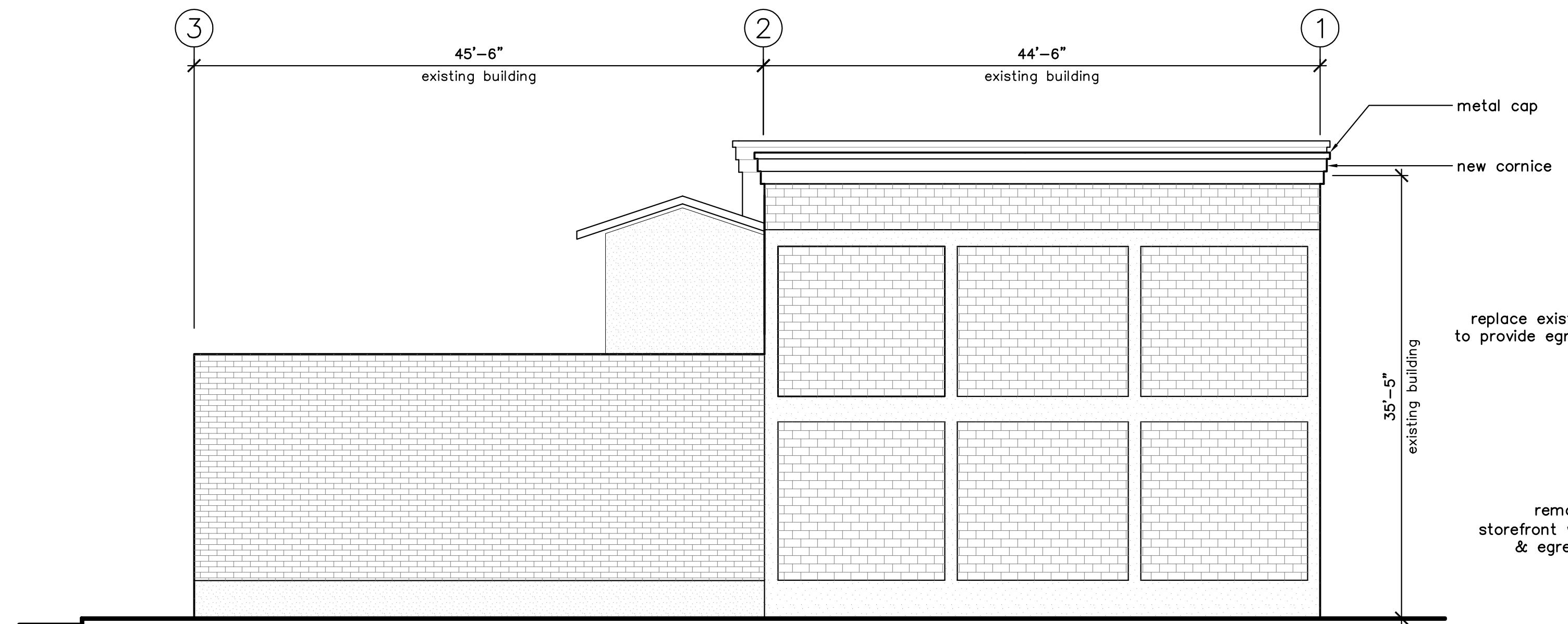
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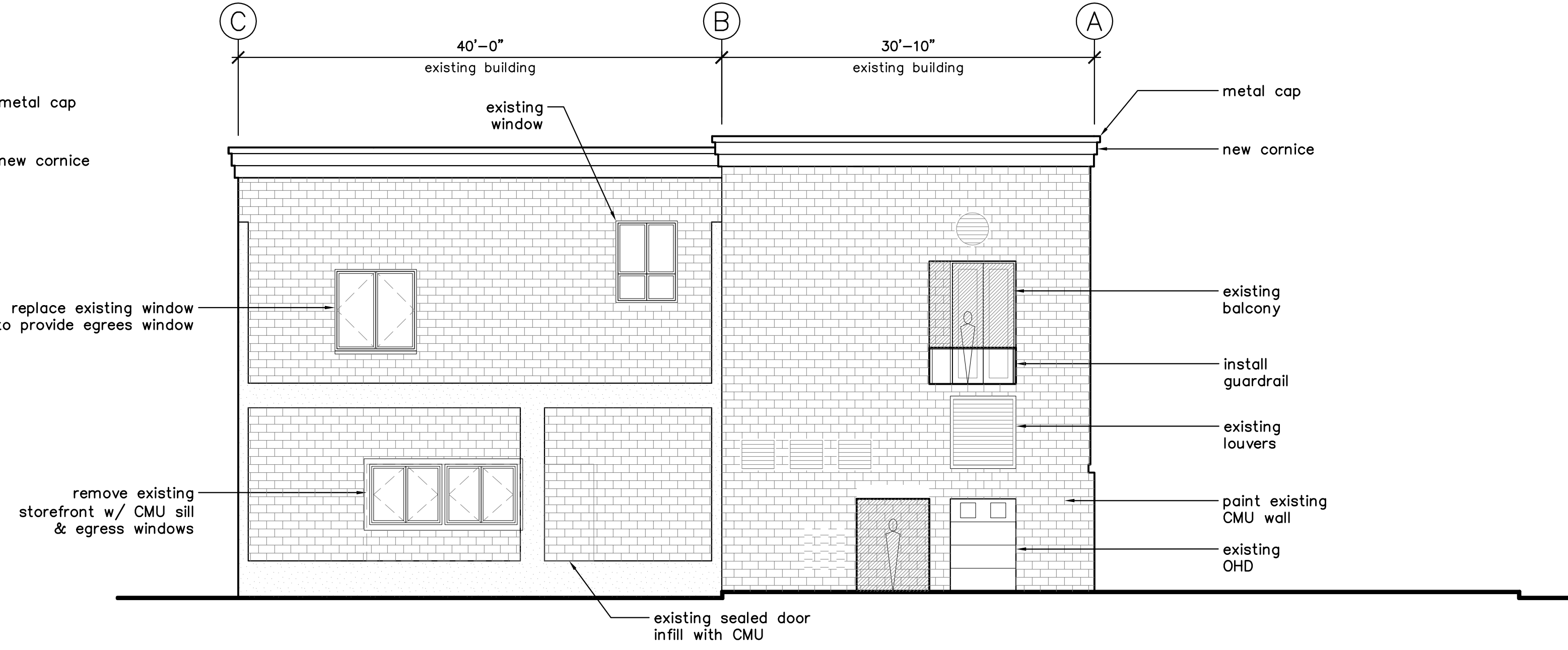
A North Elevation
1/8"=1'-0"



B West Elevation
1/8"=1'-0"

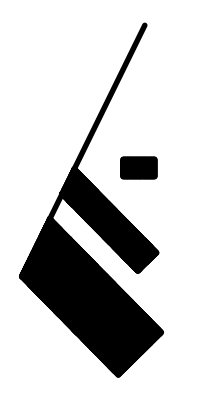


C South Elevation
1/8"=1'-0"



D East Elevation
1/8"=1'-0"

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546



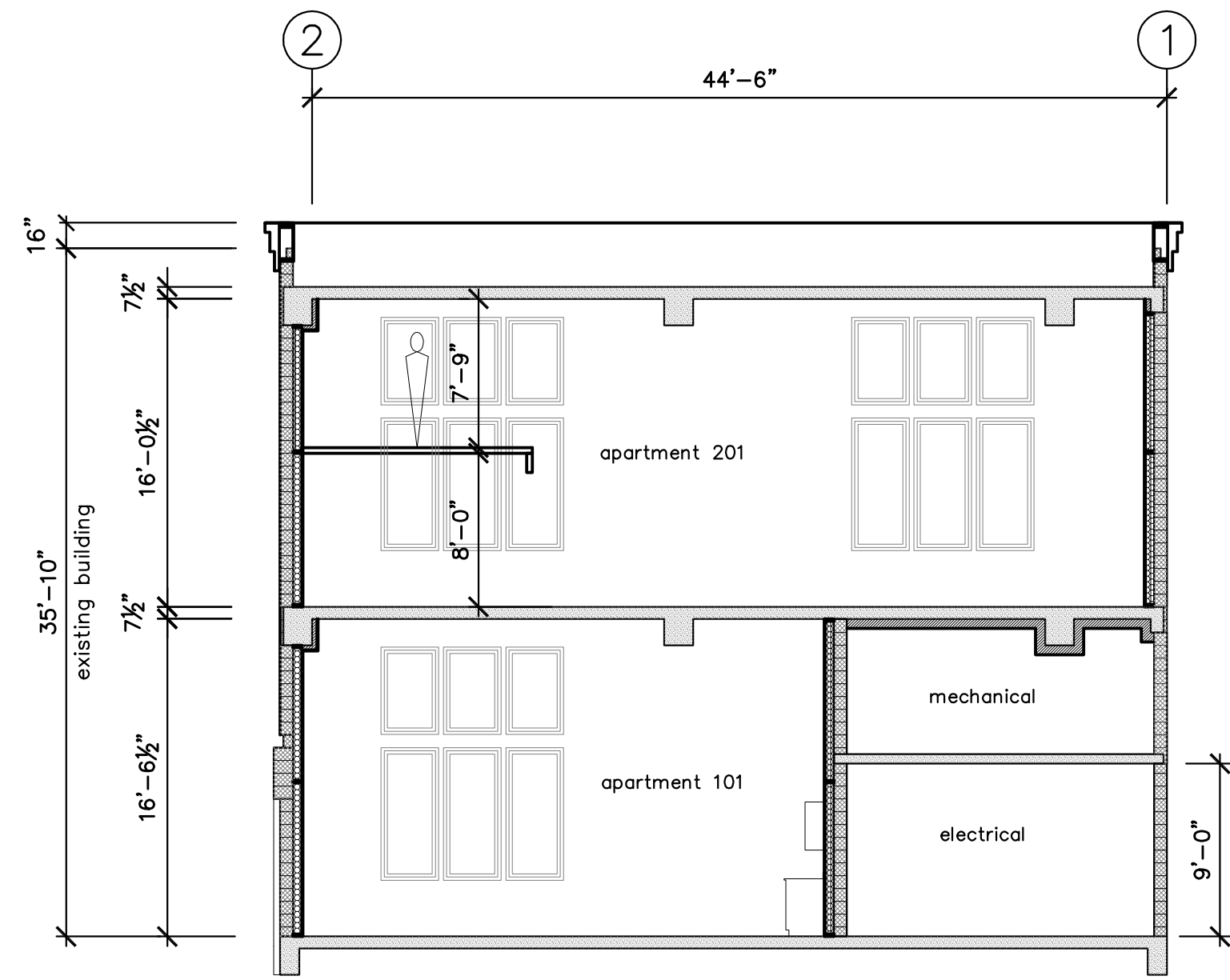
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
SCHEMATIC
DESIGN
03/12/21

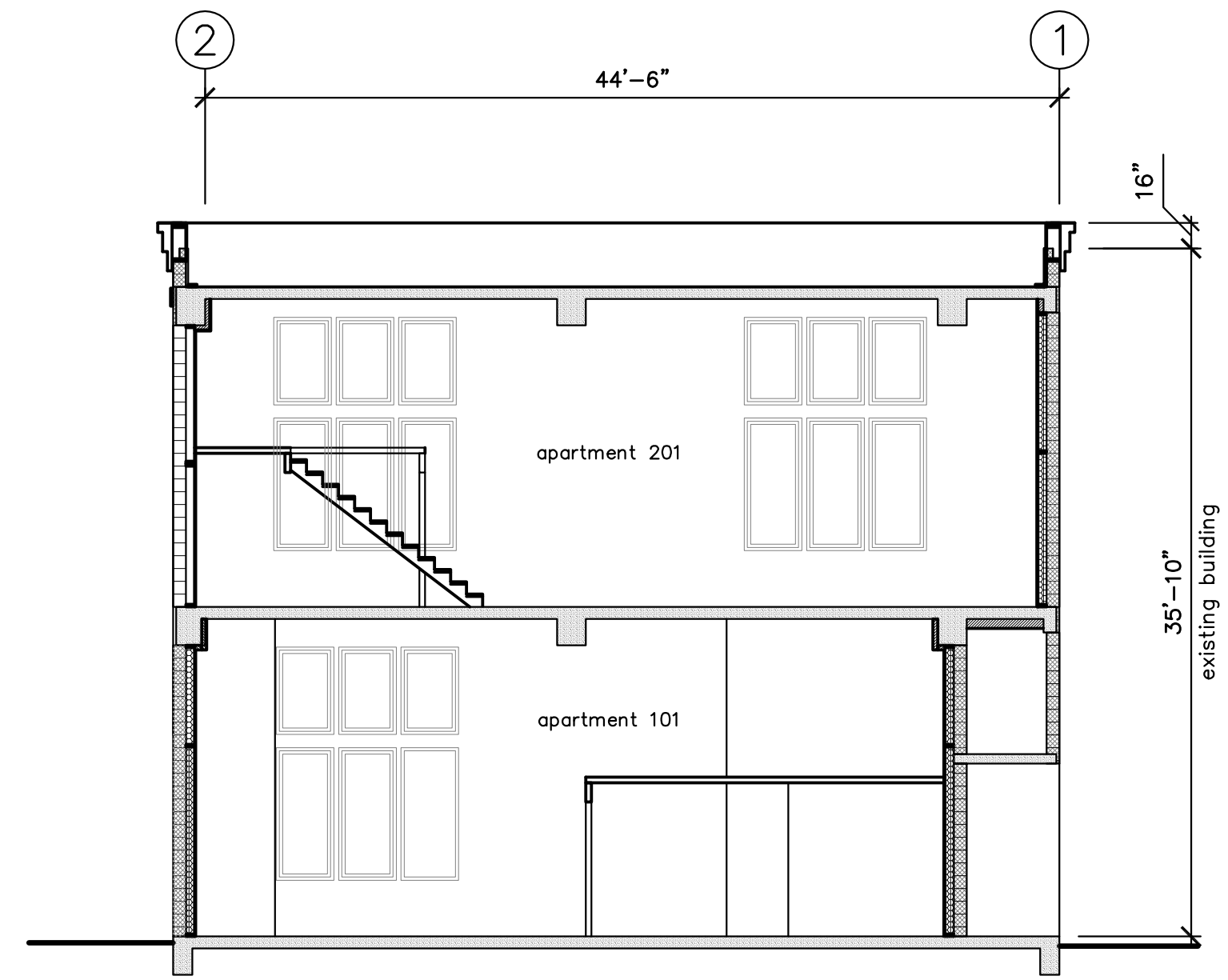
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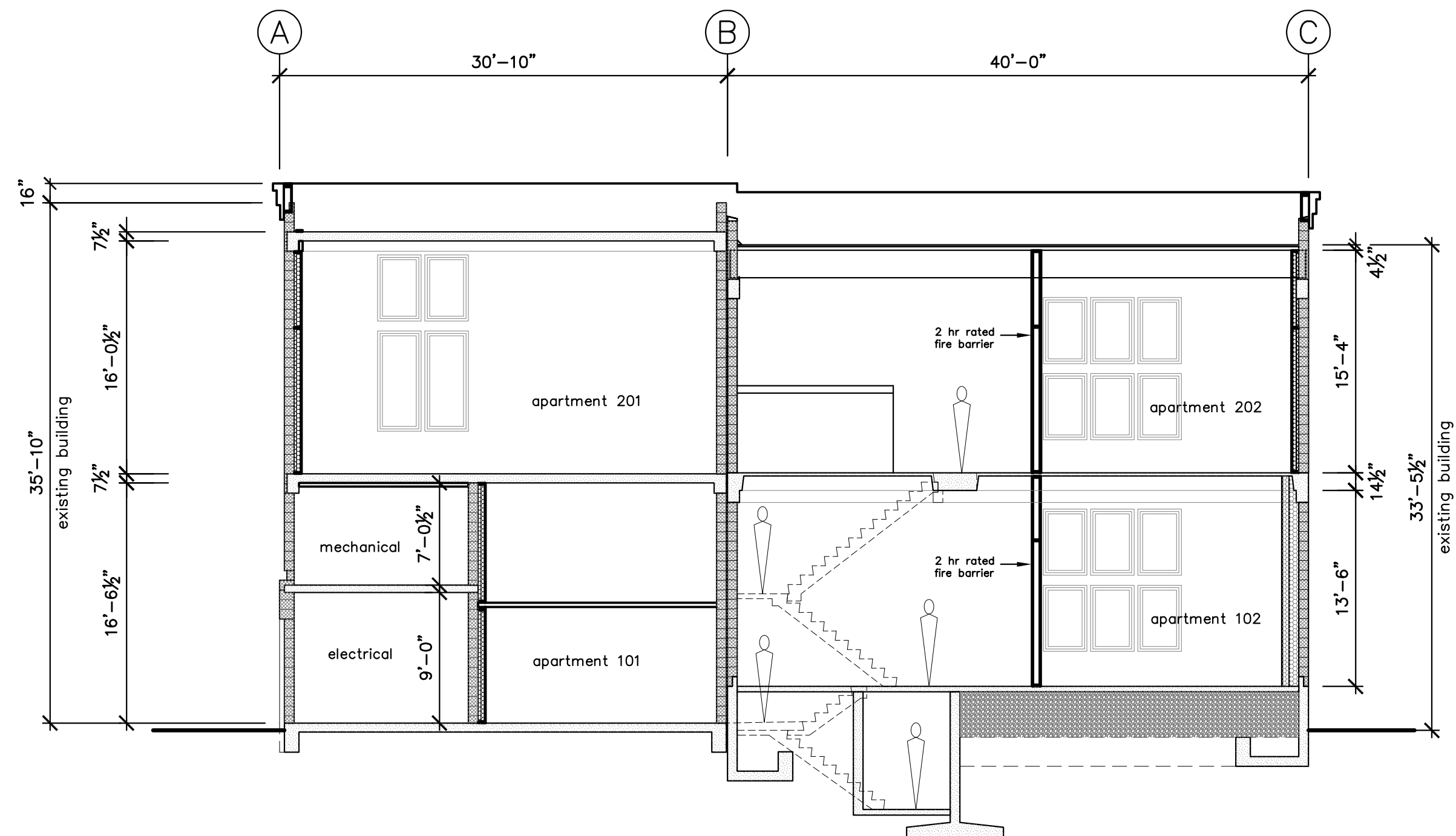
PHASE I



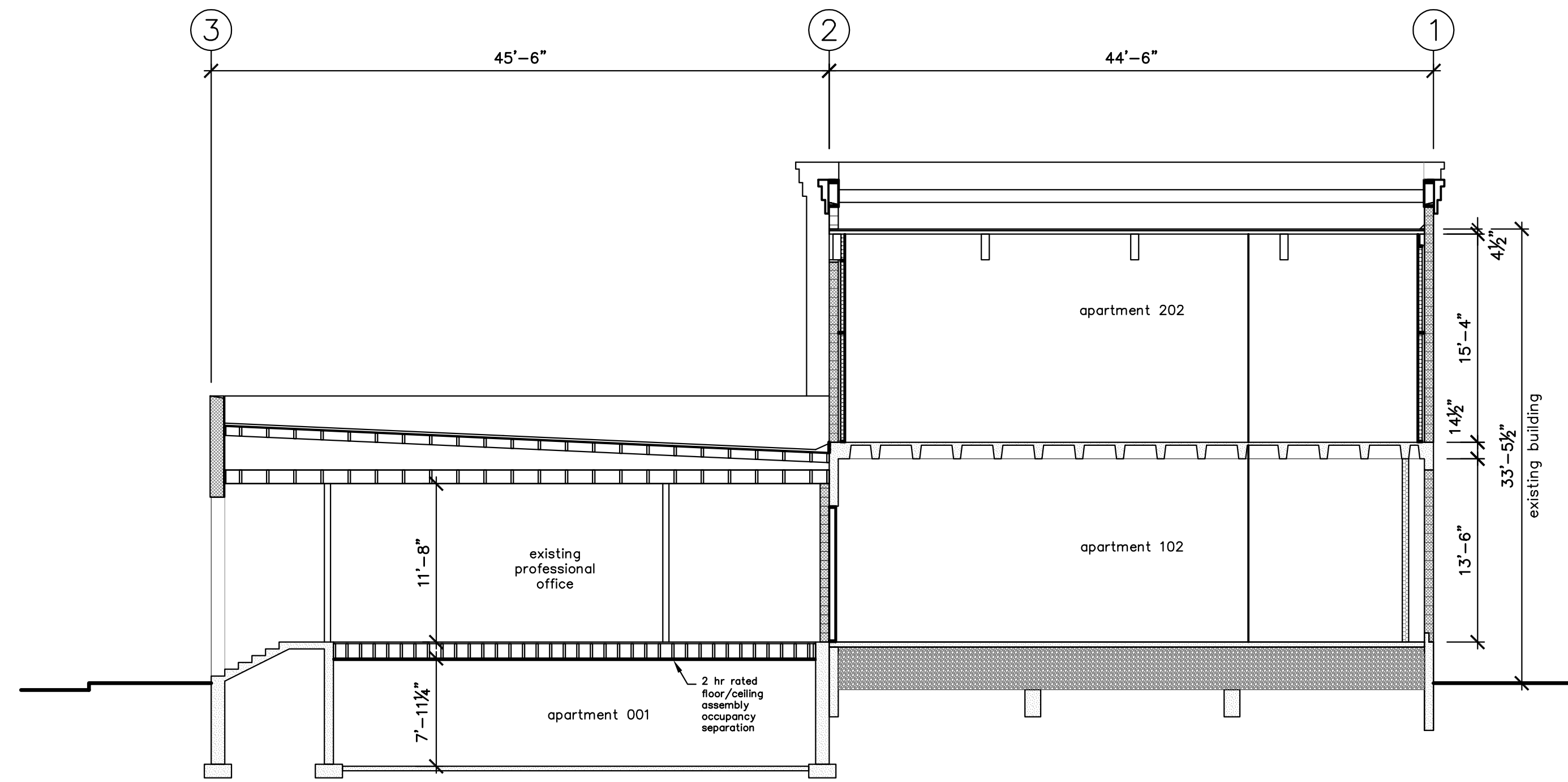
A Building Section
1/8"=1'-0"



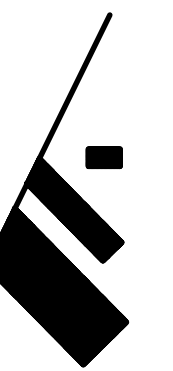
B Building Section
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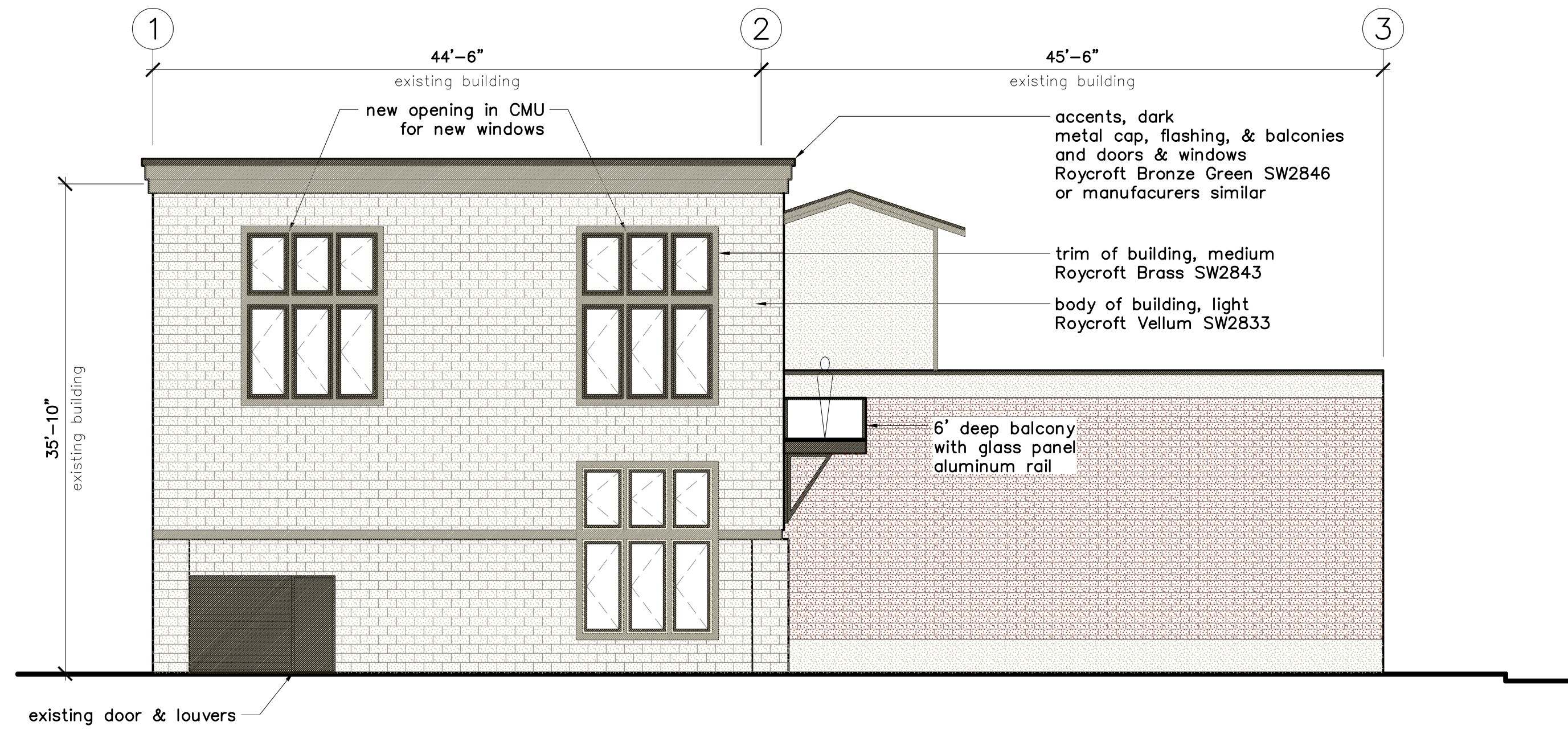


D Building Section
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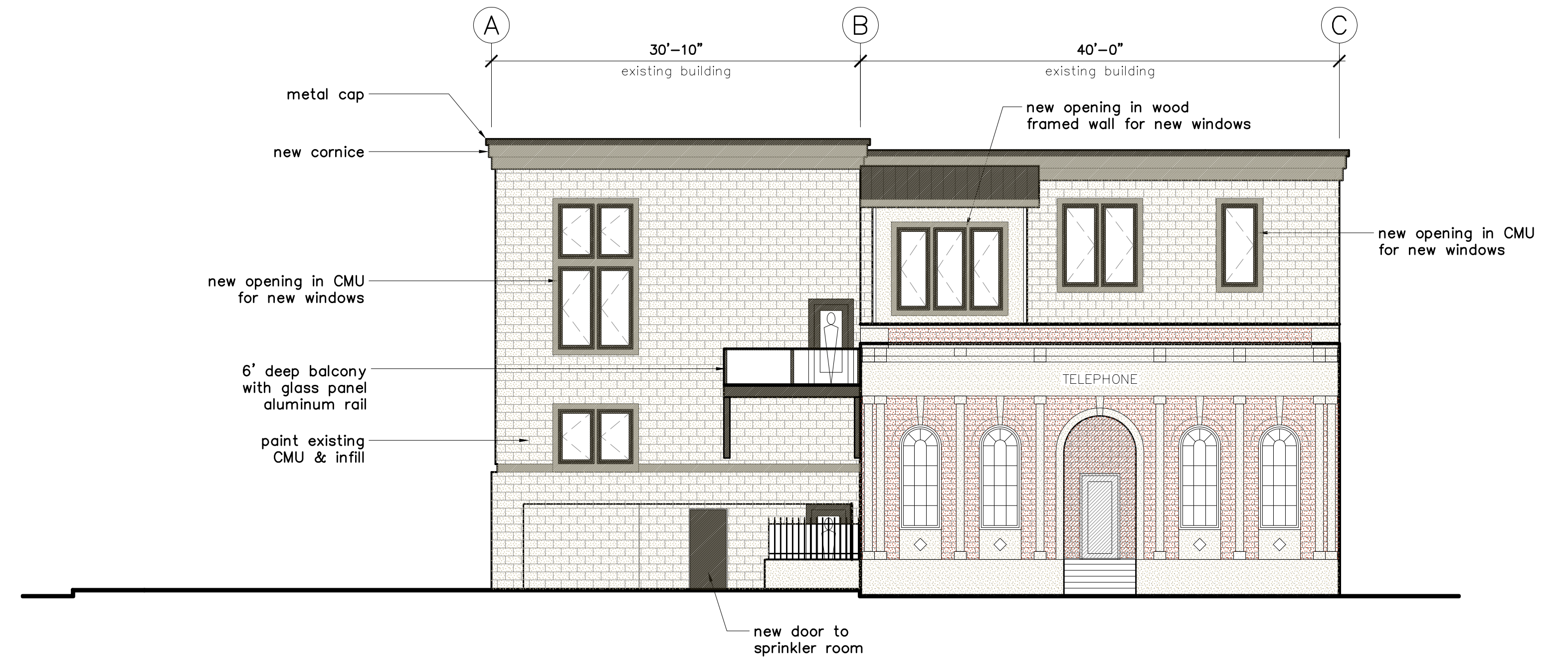


C Building Section
1/8"=1'-0"

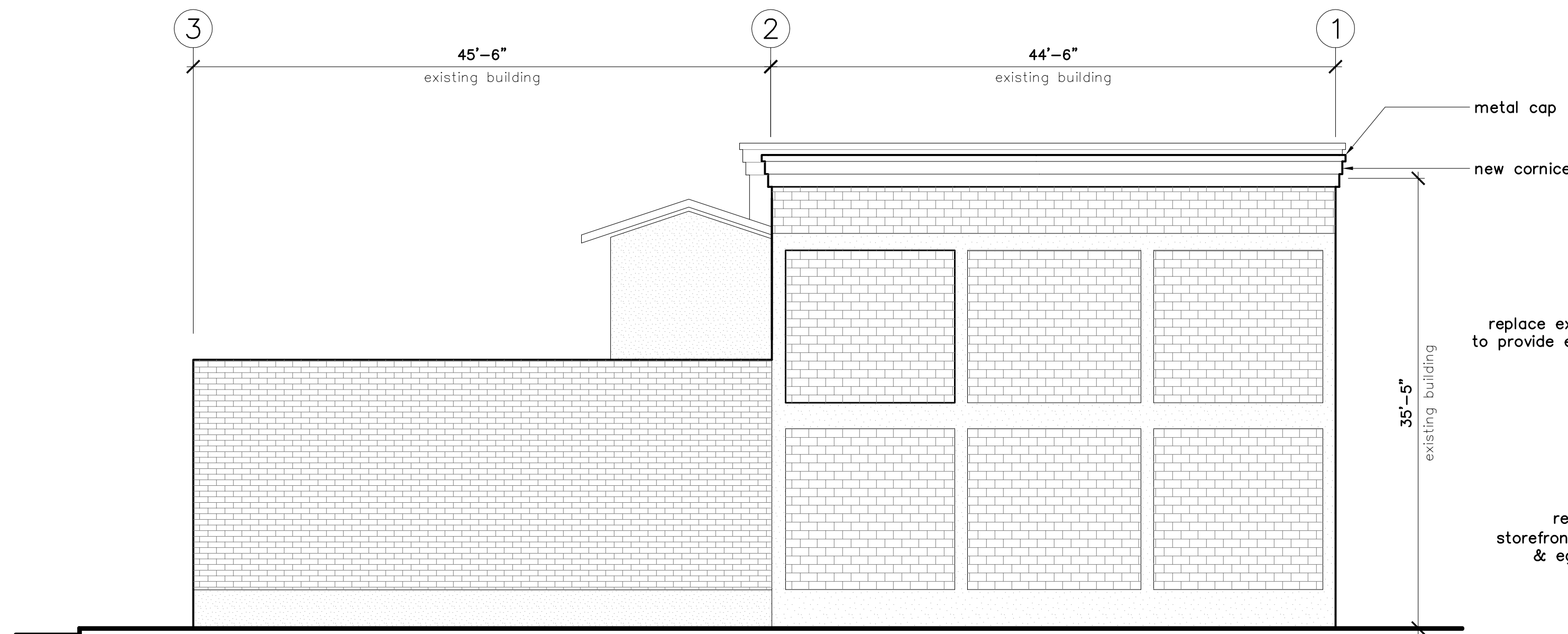




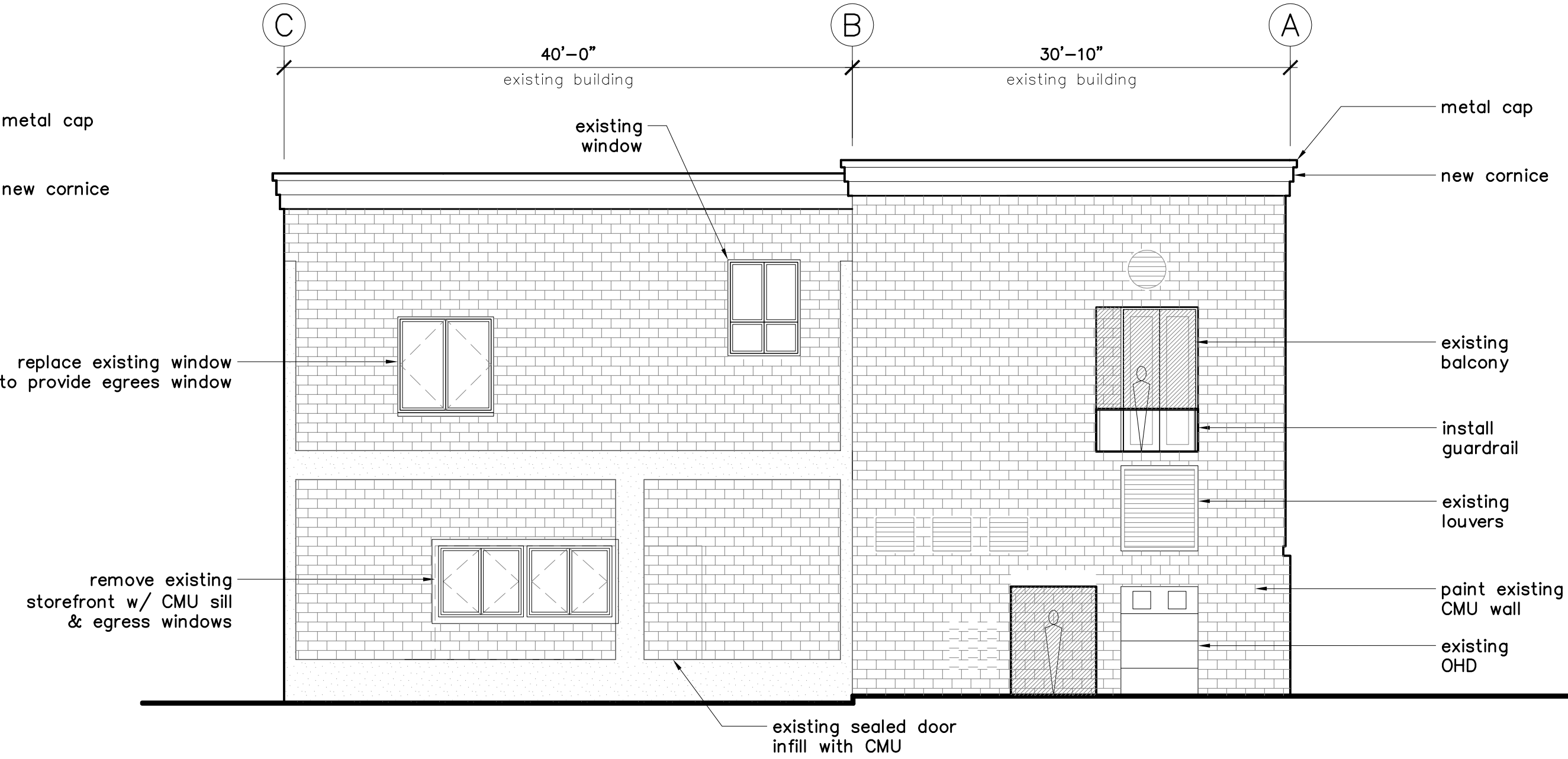
A North Elevation
1/8"=1'-0"



B West Elevation
1/8"=1'-0"

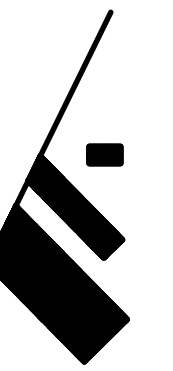


C South Elevation
1/8"=1'-0"



D East Elevation
1/8"=1'-0"

Mark E. Christ, Architect
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phone (360) 855-1546



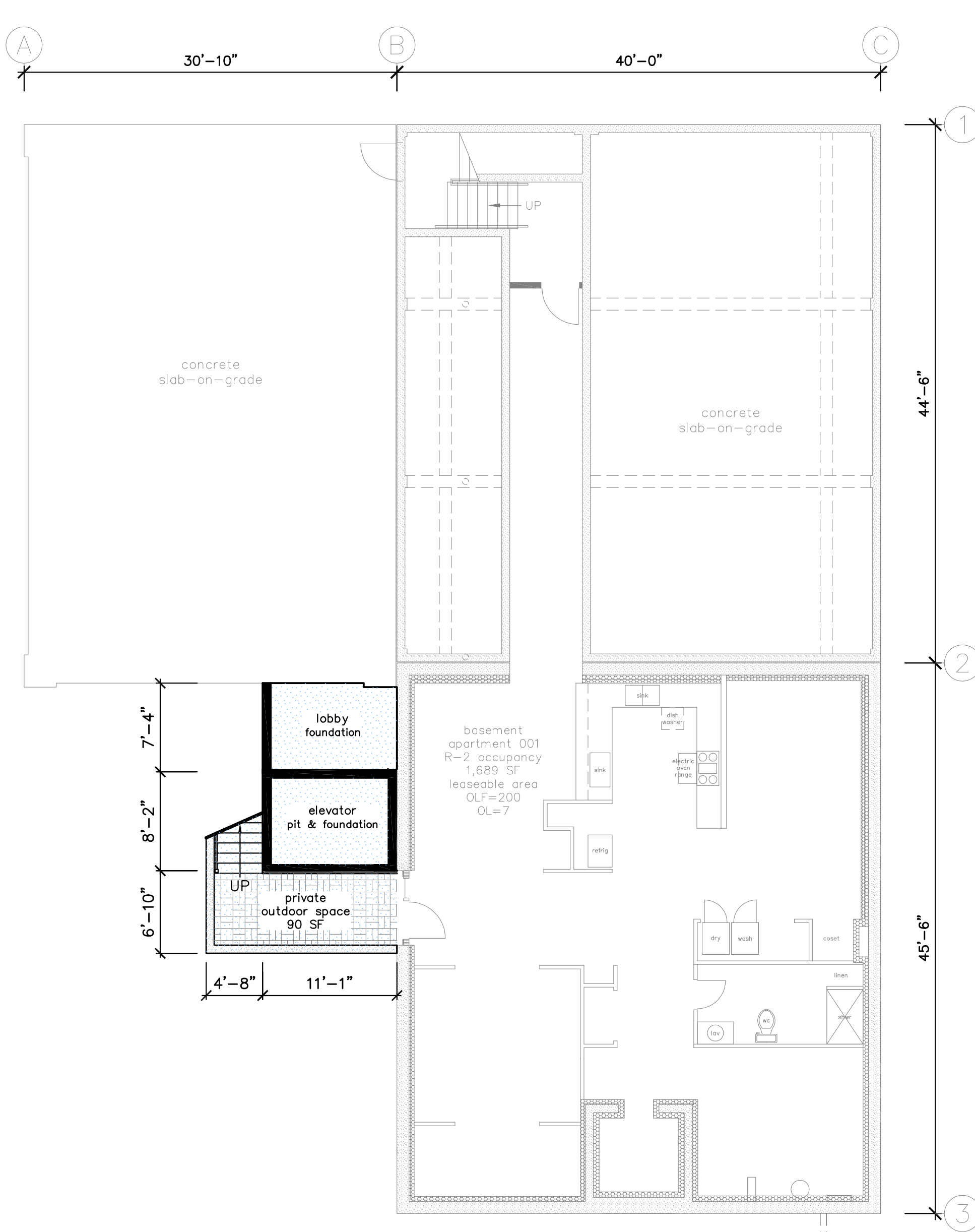
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
SCHEMATIC
DESIGN
03/12/21

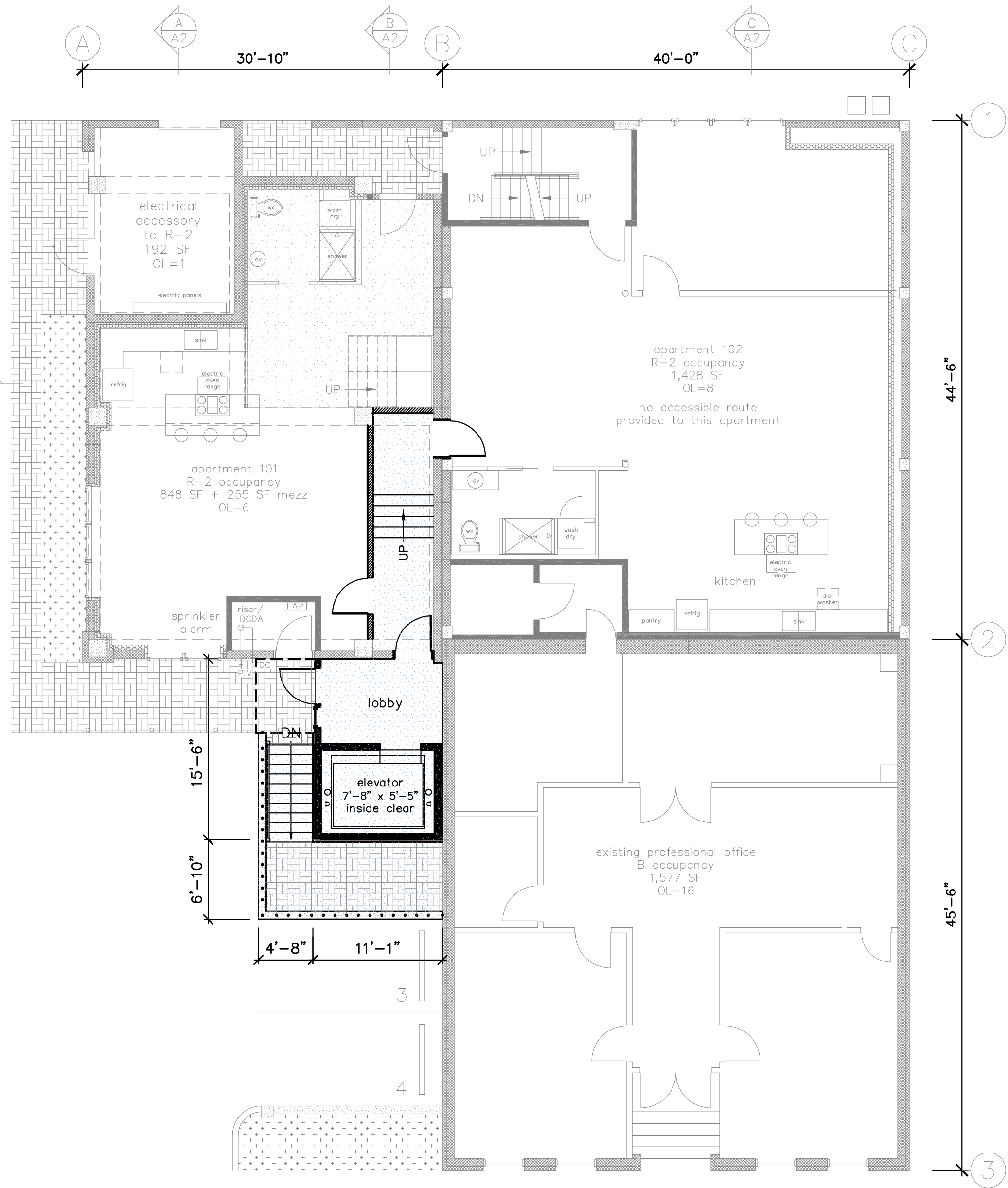
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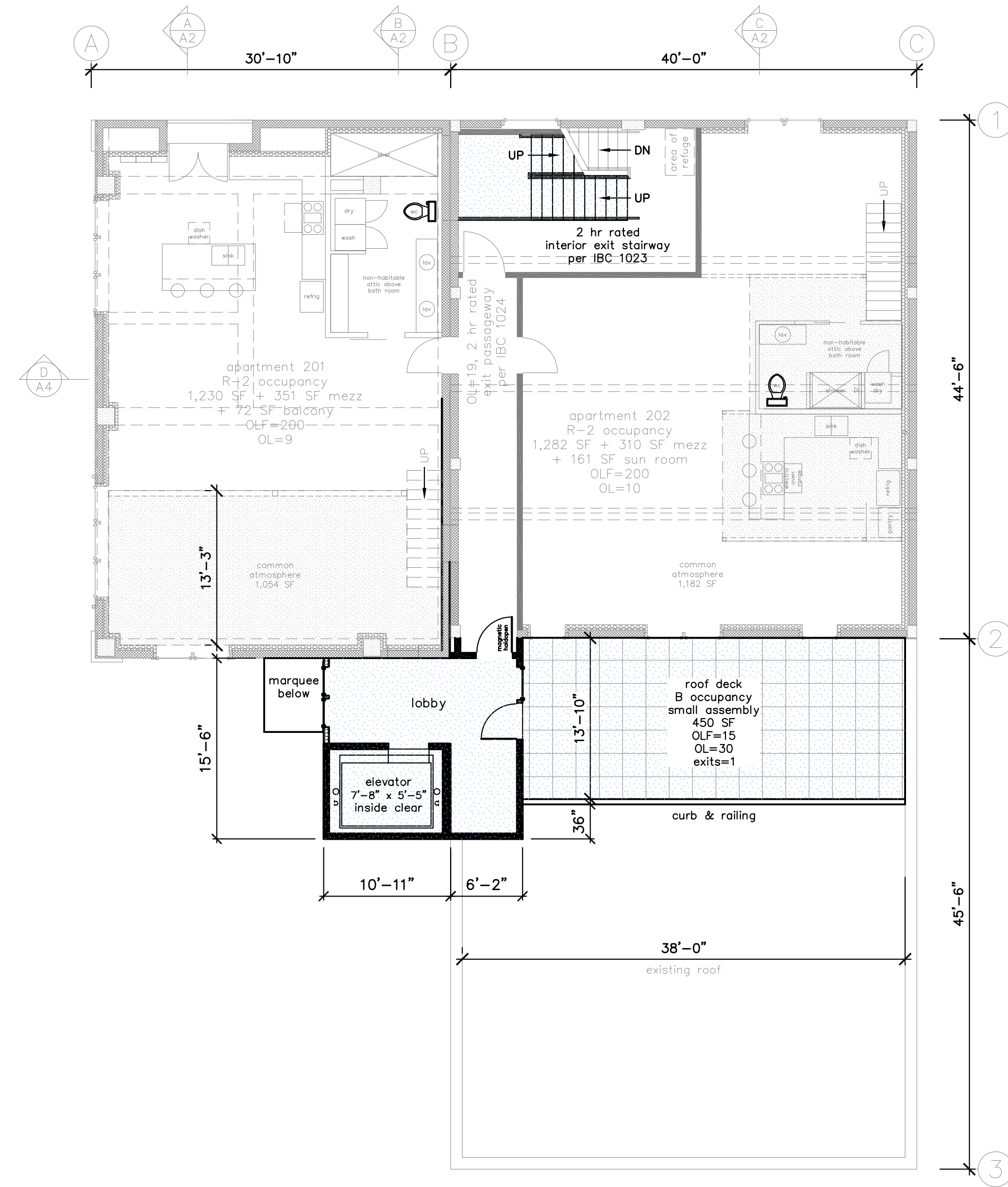
PHASE I



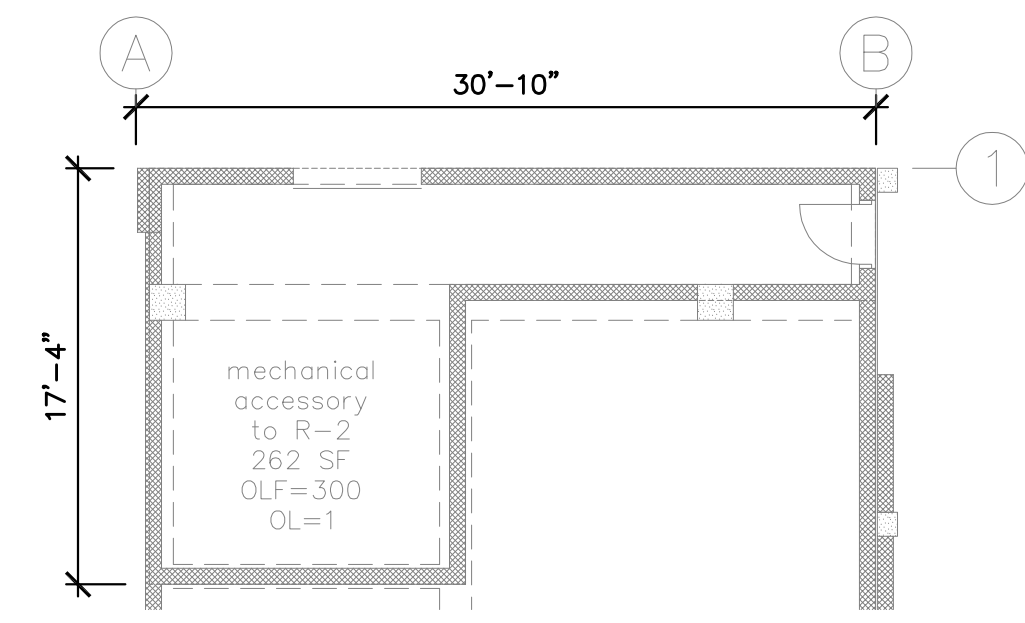
A Basement Plan
1/8"=1'-0"



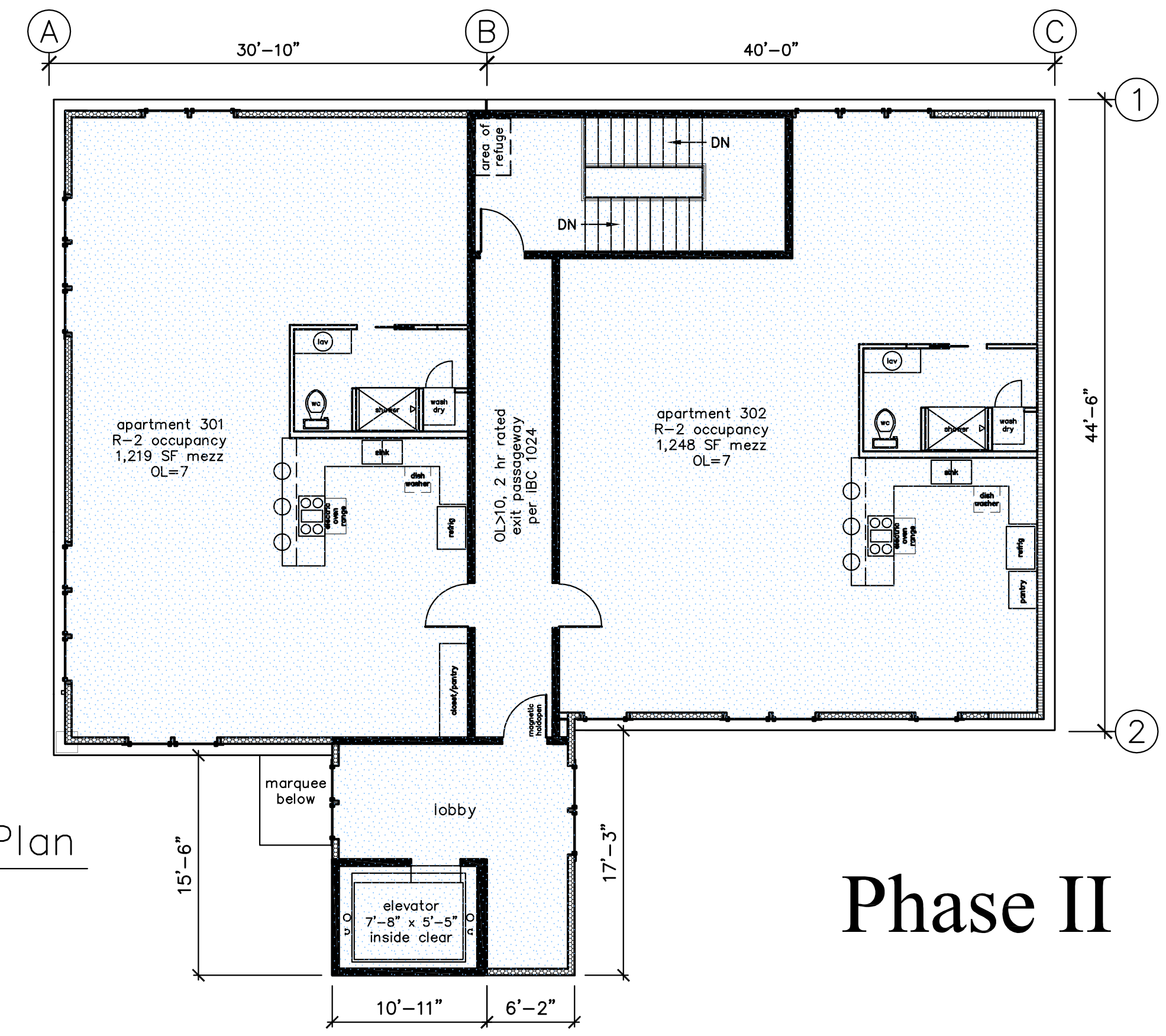
B First Floor Plan
1/8"=1'-0"



C Second Floor Plan
1/8"=1'-0"



E Mech Mezzanine
1/8"=1'-0"

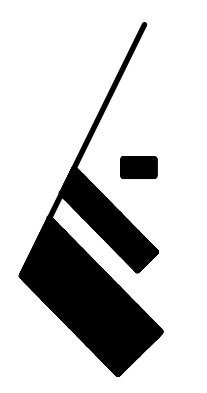


D Third Floor Plan
1/8"=1'-0"

SYMBOLS	
	Extent of PHASE II additions
	Existing Concrete
	Existing CMU
	Interior Nonbearing Nonrated Partion Wall
	30 min Fire Partition
	Insulated Nonrated Wall
	1 or 2 hour Fire Barrier
	1 hour Exterior Wall
Existing CMU walls to be reinforced with 4-6 inches shotcrete at selected locations to be determined	

Phase II

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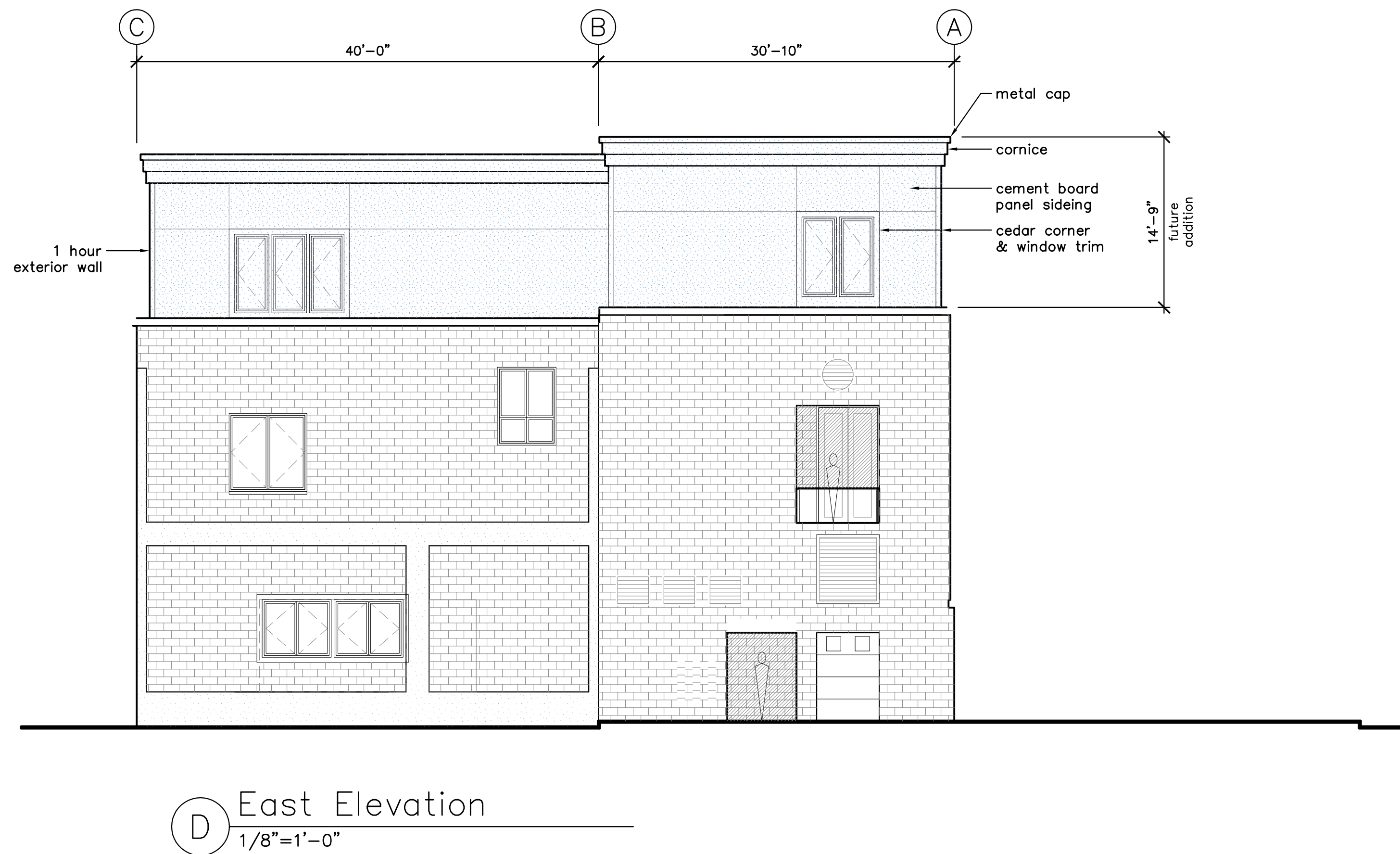
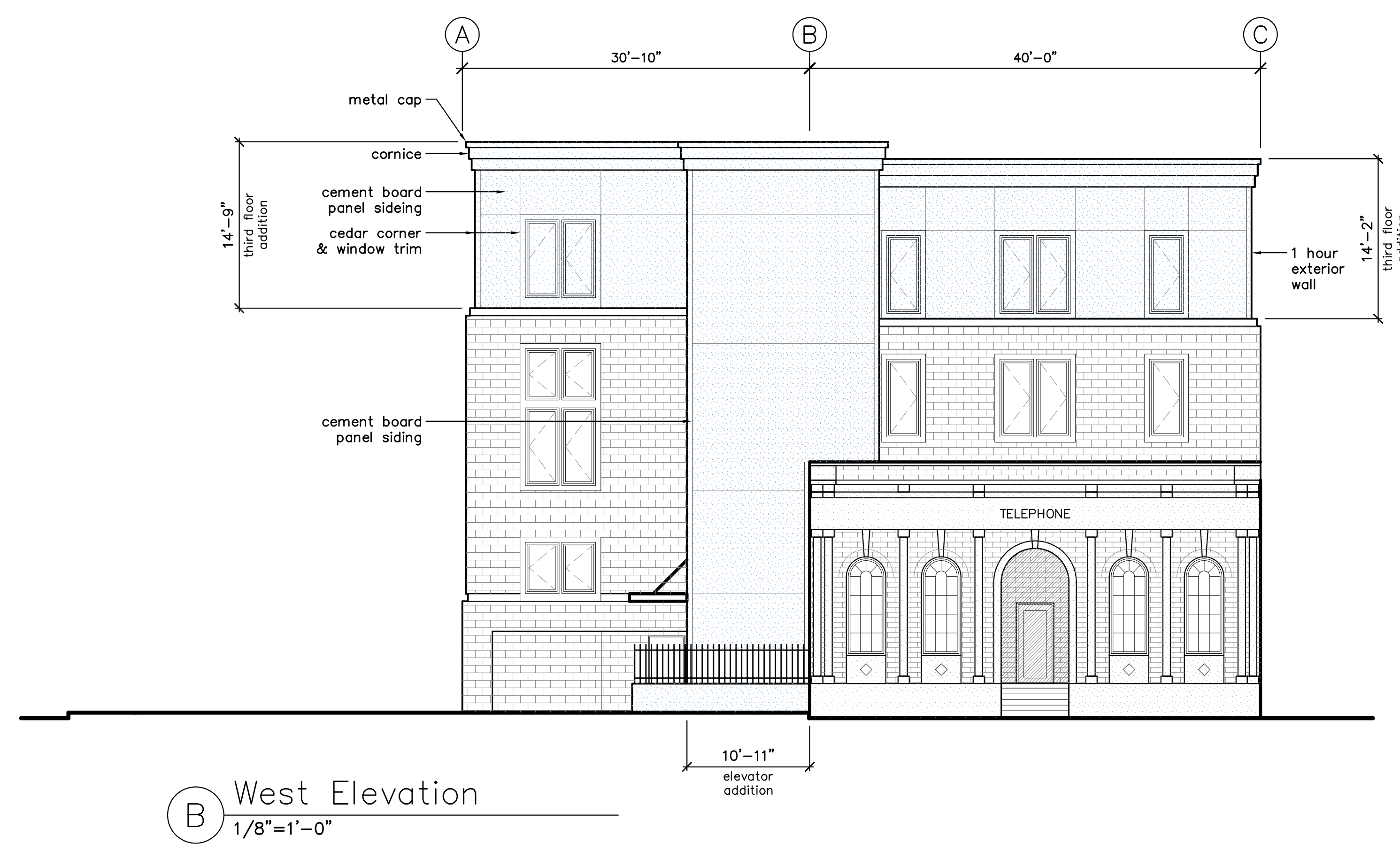


Improvements to 508 2nd Street
for RPI Mount Vernon LLC

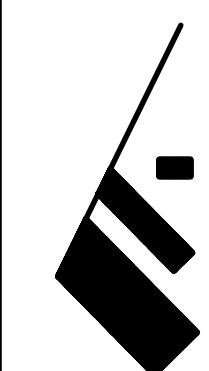
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03/12/21

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phone (360) 855-1546



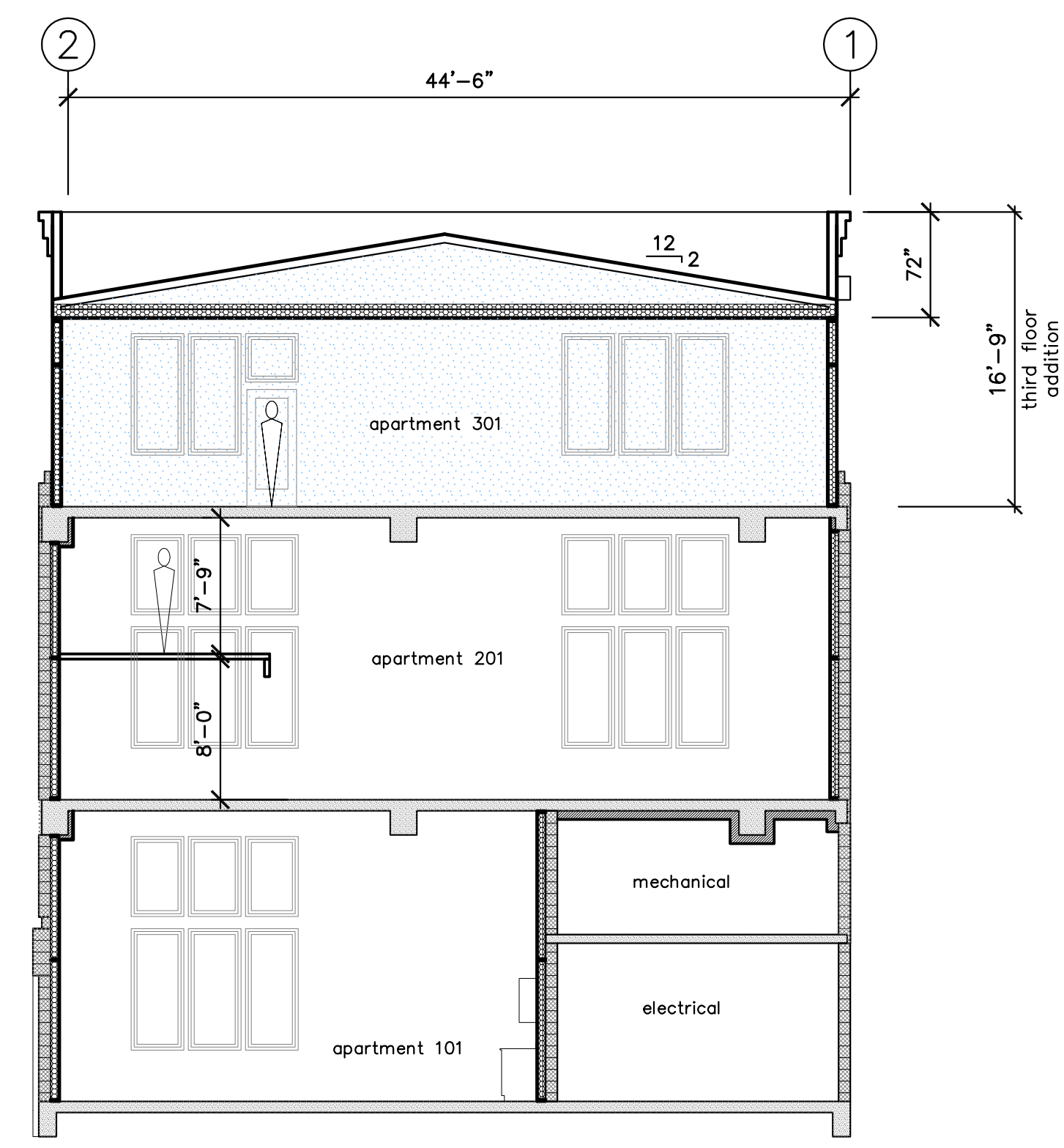
Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
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DESIGN
03/12/21

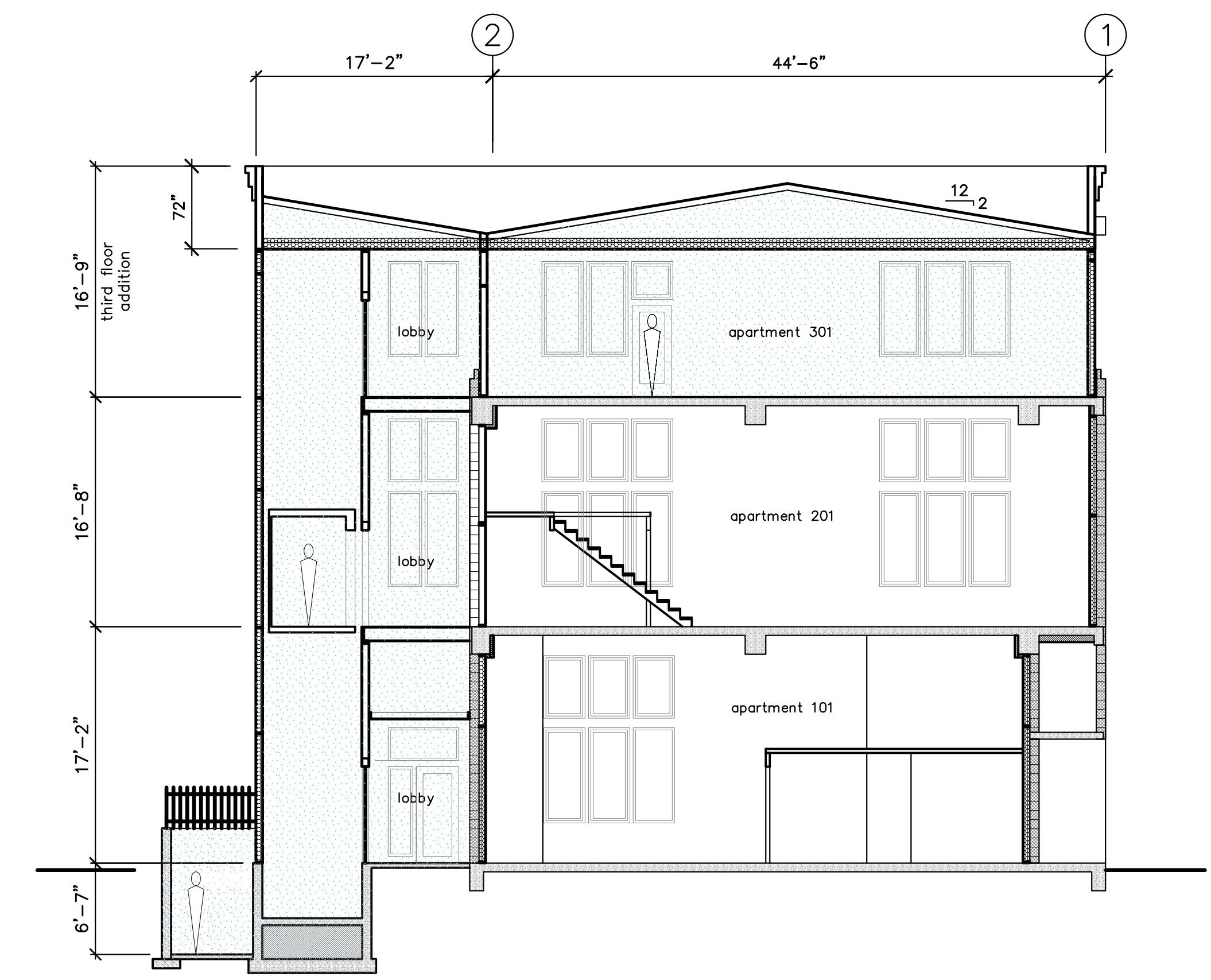
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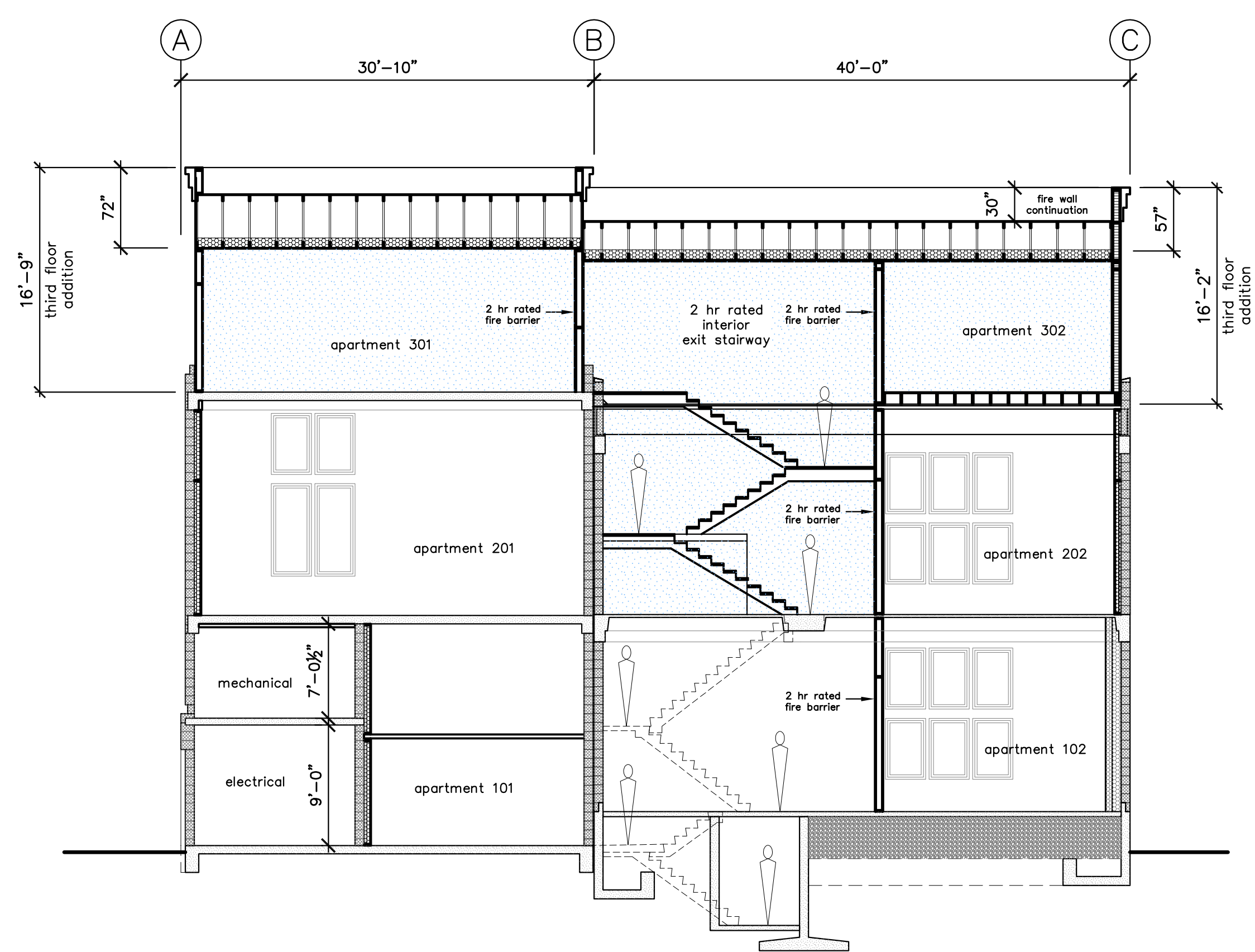
Phase II



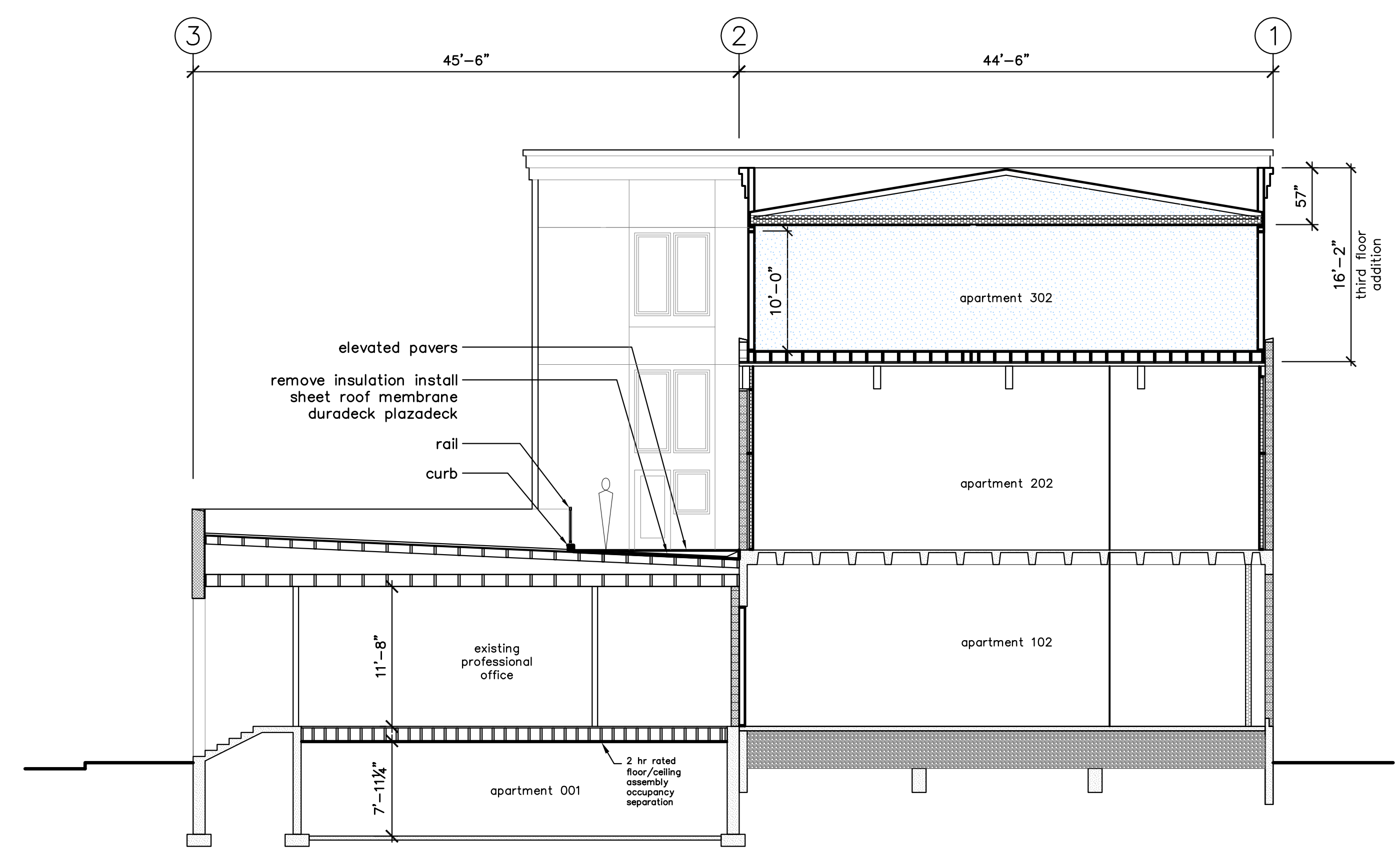
A Building Section
1/8"=1'-0"



B Building Section
1/8"=1'-0"

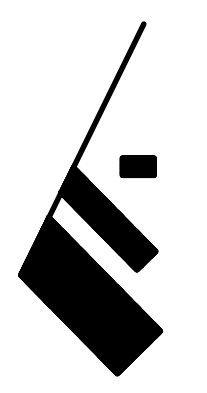


D Building Section
1/8"=1'-0"



C Building Section
1/8"=1'-0"

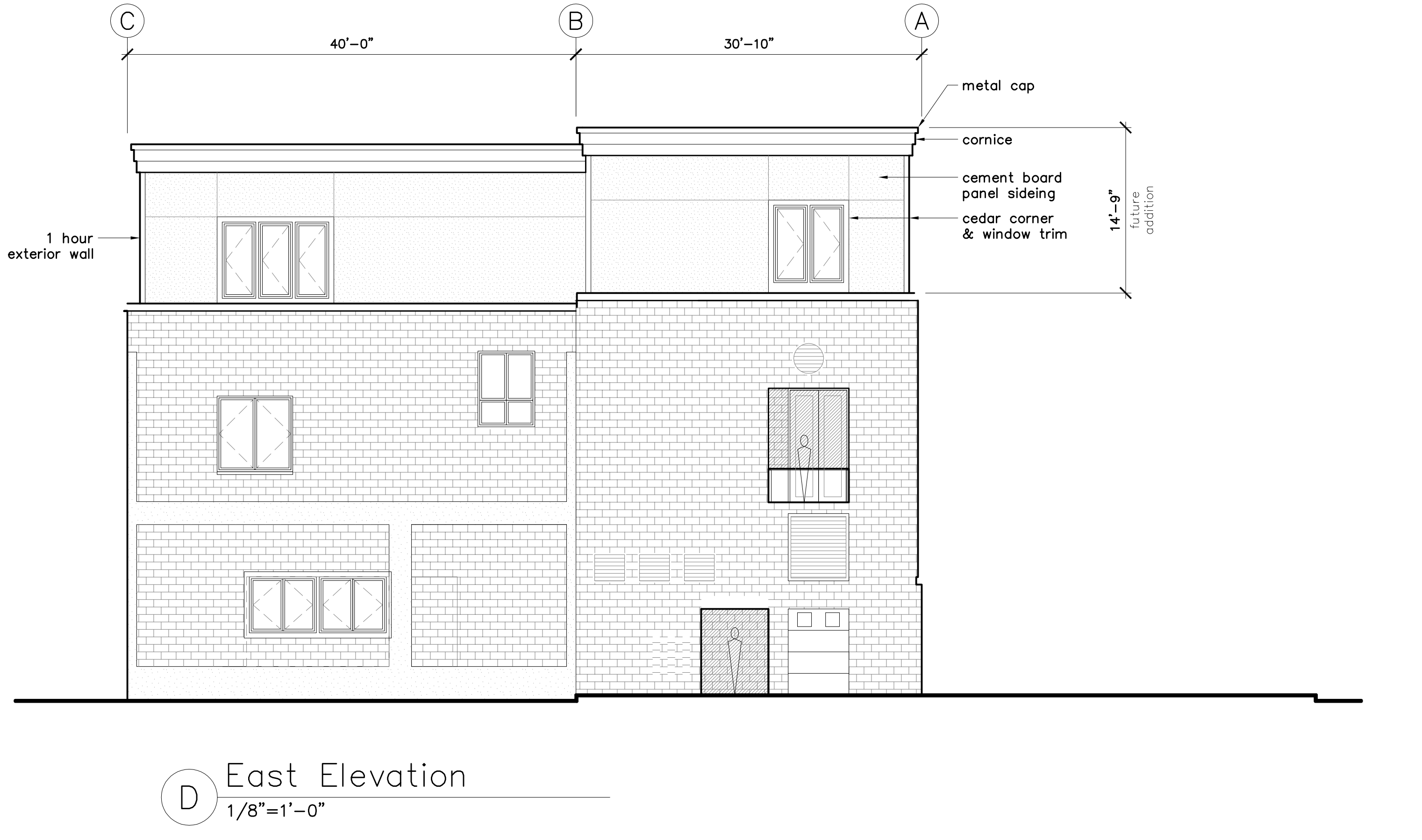
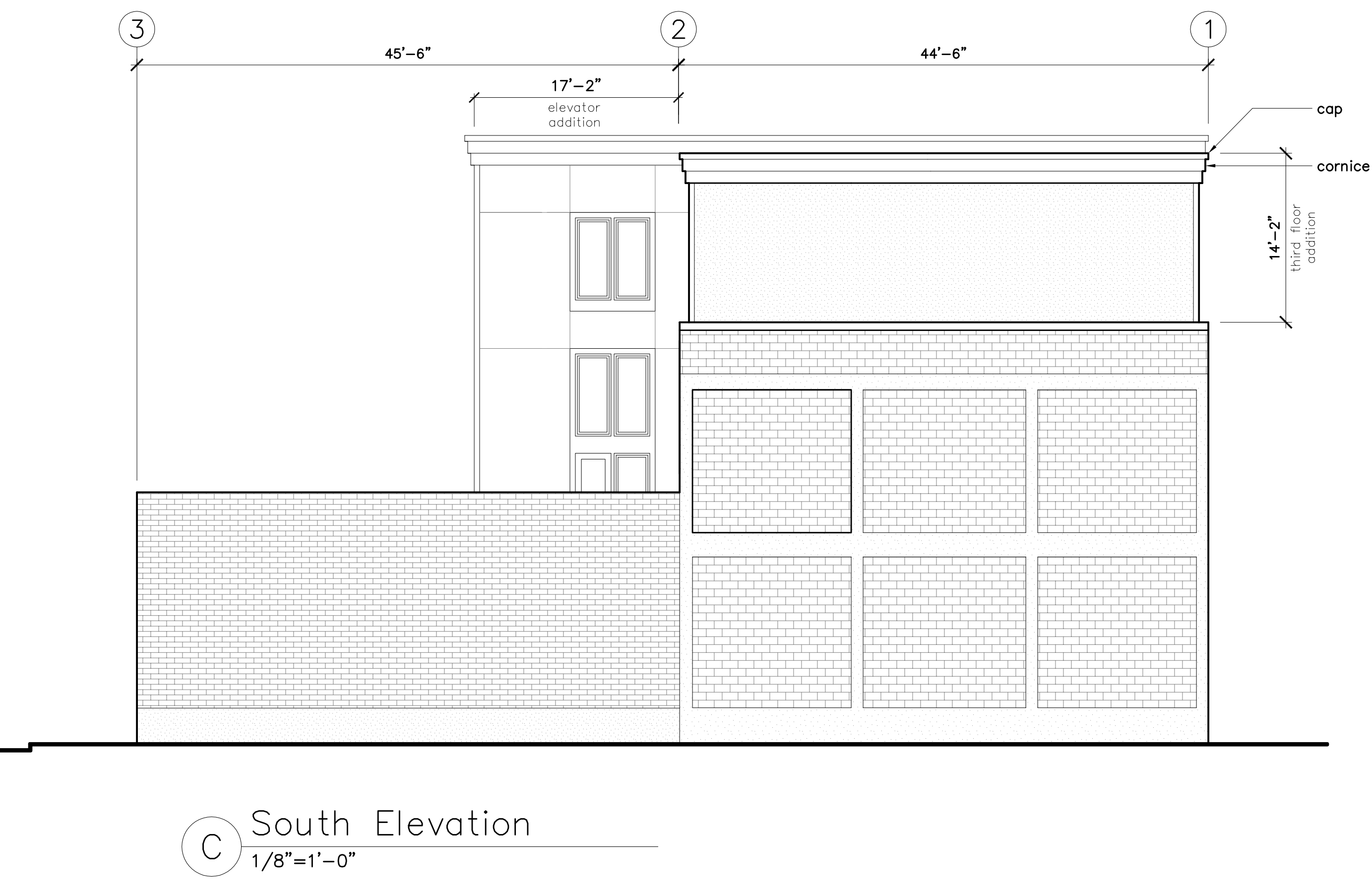
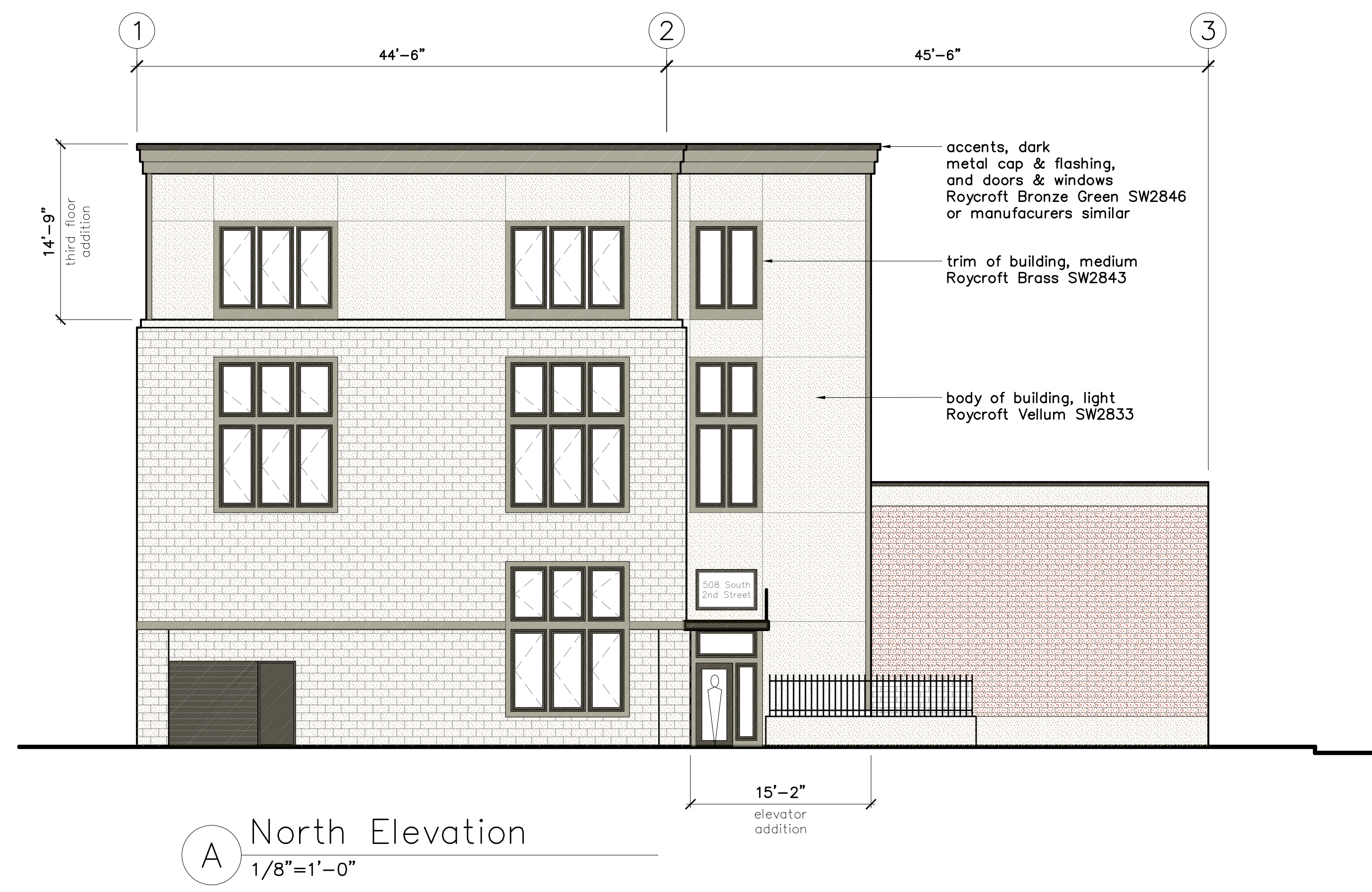
Mark E. Christ, Architect
810 Bennett Street
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Improvements to 508 2nd Street
for RPI Mount Vernon LLC

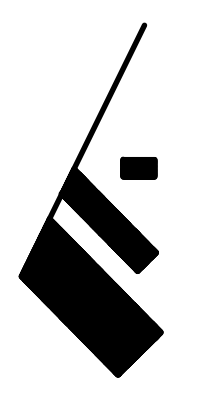
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SCHEMATIC
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Phase II

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546

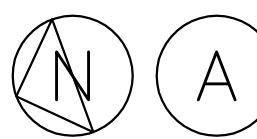
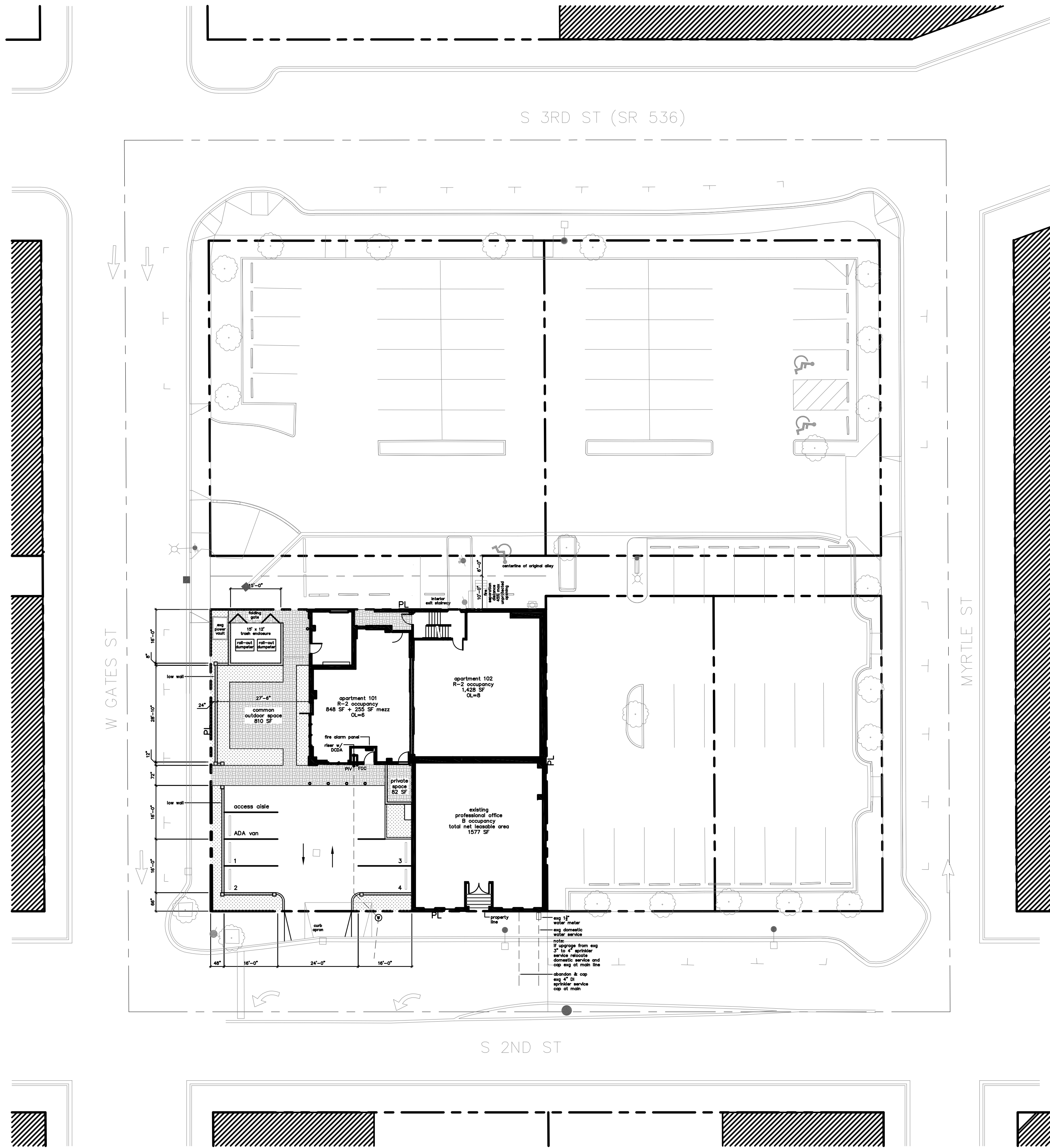


Improvements to 508 2nd Street
for RPI Mount Vernon LLC

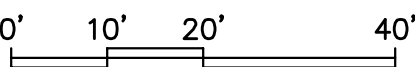
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03/12/21

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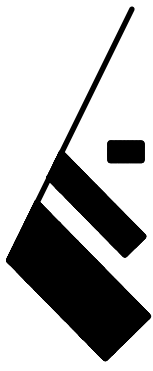


PHASE I Site Plan
1"=20'-0"



Phase I

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546

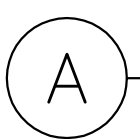
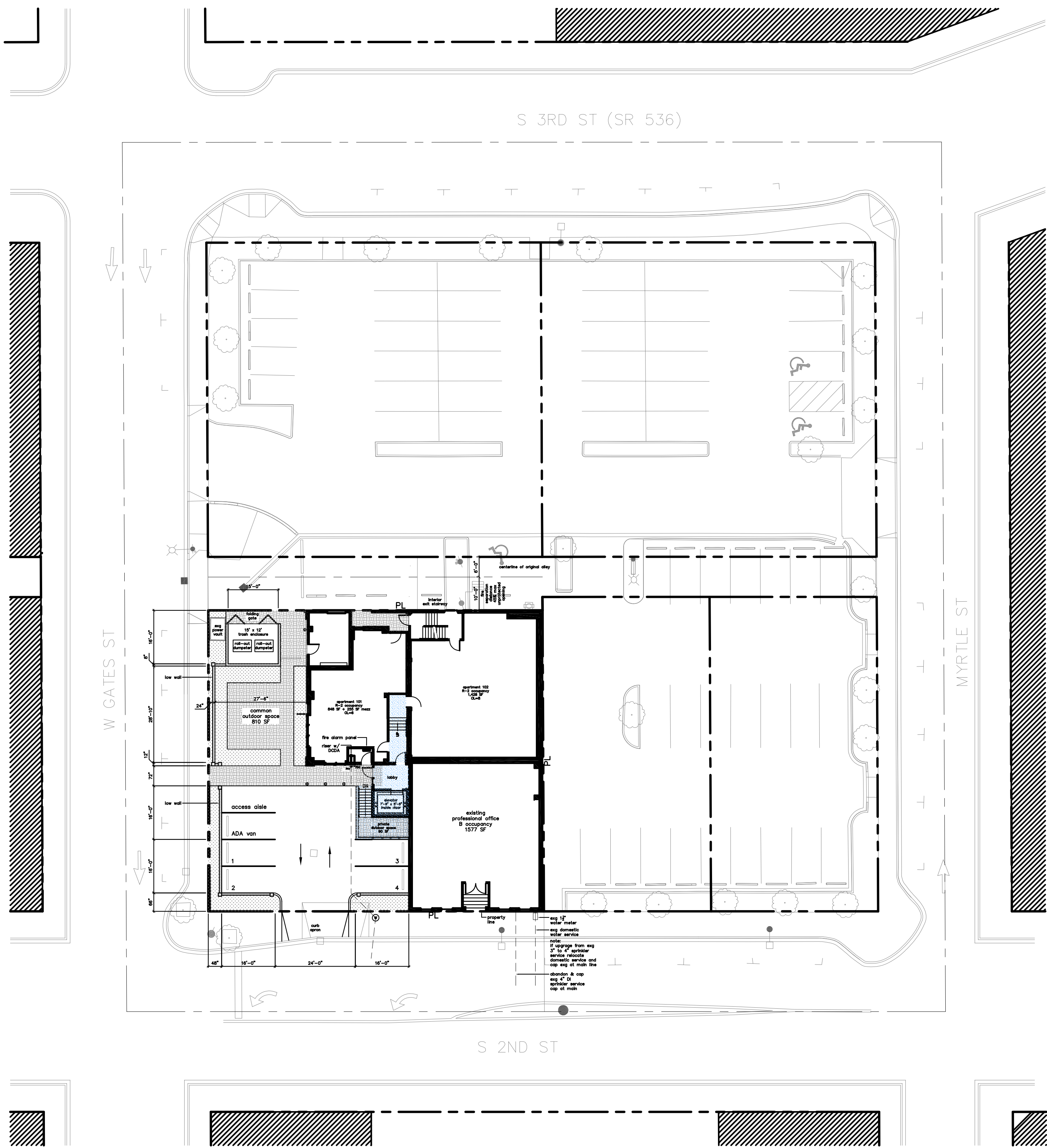


Improvements to 508 2nd Street
for RPI Mount Vernon LLC

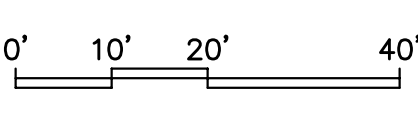
Date:
SCHEMATIC
DESIGN
11/12/20
REVISED
FOR CUP
05/12/21

Sheet:

ESP1



PHASE II Site Plan
1"=20'-0"



Phase II

Mark E. Christ, Architect
810 Bennett Street
Sedro-Woolley, WA 98284
phone (360) 855-1546



Improvements to 508 2nd Street
for RPI Mount Vernon LLC

Date:
SCHEMATIC
DESIGN
11/12/20
REVISED
FOR CUP
05/12/21

Sheet:

ESP2

508 South 2nd, Mount Vernon
South East Aerial Photo



508 South 2nd, Mount Vernon
North West Aerial Photo



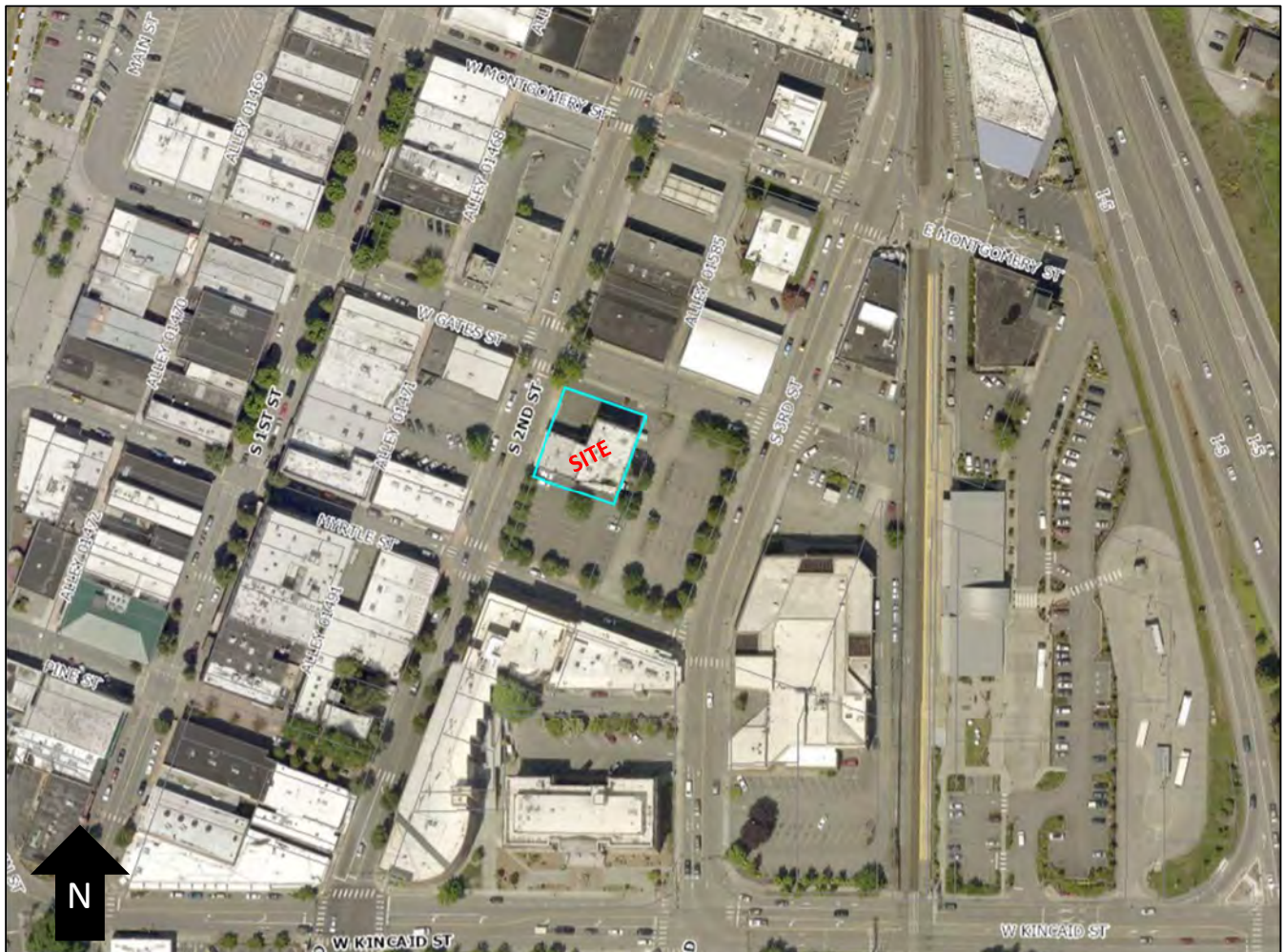


NOTICE OF APPLICATION & NOTICE OF PUBLIC MEETING & HEARING

APPLICATION NAME & NUMBER: South 2nd Street Mixed Use Development, PLAN21-0294

PROJECT DESCRIPTION: Proposed is a phased project to result in 1,820 s.f. of professional office space, seven new apartments (7,946 s.f. of interior remodeling will create five (5) of the units and a 3,196 s.f. addition to the third floor will create the additional two (2) units), and new improvements including: an apartment lobby, elevator, outdoor roof deck, parking areas, dumpster enclosure, common outdoor space, and landscaping.

PROJECT LOCATION: The project site has an address of 508 S 2nd Street, is described by the Skagit County Assessor as parcel P52080, is located within a portion of the SE ¼ of Section 19, Township 34N, Range 4E, W.M., and is located at the SE corner of the intersection of S 2nd and W Gates Streets. The vicinity map below identifies the approximate boundaries of the project site.



APPLICANT:

Mark Christ
810 Bennett Street
Sedro-Woolley, WA 98284
360-855-1546

PROPERTY OWNER:

RPI Mt Vernon LLC (Governed by: Michael McKernan and Michael Morgan)
2151 N Northlake Way, Ste 200
Seattle, WA 98103
206-793-2490

STAFF CONTACT:

Rebecca Lowell, Principal Planner
Development Services Department
910 Cleveland Avenue, Mount Vernon WA 98273
360-336-6214

**APPLICATION
SUBMITTED ON:**

May 19, 2021

**TECHNICALLY
COMPLETE:**

June 15, 2021

**PERMITS
REQUESTED:**

Conditional Use Permit, Site
Plan, Design Review, and
Traffic Concurrence

**ENVIRONMENTAL
DOCUMENTS:**

Completed under PLAN20-0418
Addendum under PLAN21-0473

**OTHER REQUIRED
PERMITS:**

Following is a list of permits likely to be required in the future for the overall project: Building Permits, Fire Permits, Fill and Grade Permit, Right-of-Way Permit, Stormwater Permit from the State Department of Ecology (DOE)

Comments on the Notice of Application must be submitted, in writing, no later than **August 27, 2021**. Comments should be as specific as possible and those submitting comments are required to comply with the following:

- All comments must include: (1) your full name, (2) your mailing address, and (3) the name of the proposal you are commenting on.
- If you wish to submit comments electronically you must upload your comments into the city's online permit portal because comments are NOT accepted via email. To upload comments into the City's permit portal navigate to: <https://ci-mountvernon-wa.smartgovcommunity.com/Public/Home>, once on this page you must create a user account by clicking "Sign Up" located at the upper right corner of the webpage. Once you have created and verified your user account log into the system and click on "Go" in the My Portal box, and then on the next page that appears click on "Apply" in the Apply Online box. On the new page that appears under Step 1 select "Public Comments" and on Step 2 select "Public Comments for Land Use Permits"
- Comments submitted on paper are required to be mailed to the address provided for the Staff Person listed within this notice.

PUBLIC COMMENTS ARE NOT ACCEPTED BY THE DEPARTMENT THROUGH EMAIL. Items submitted not meeting the requirements of this section are considered as not being received by the city. Any person may comment on the application, receive notice and request a copy of the decision once it is made. To receive additional information regarding this project contact the Development Services Department and ask to become a party of record.

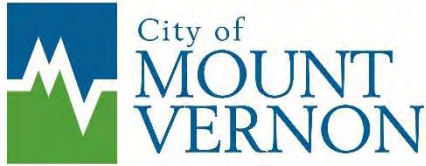
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PUBLIC HEARING: A public hearing on the above-described project will be held by the Mount Vernon Hearing Examiner via Zoom on Monday, **August 30, 2021** starting at 9 AM. Those wishing to participate in this virtual hearing must call 360-336-6214 or email: PermitTech@mountvernonwa.gov no later than 4 PM on August 27, 2021 to receive information needed to participate in this hearing.

ISSUED AND PUBLISHED: August 13, 2021

SENT TO: NW Clean Air, Skagit PUD #1, PSE, Ziply, CNG, Port of Skagit, Skagit County PDS, Skagit Council of Governments, MVSD #320, Skagit Valley College, Skagit County Assessor, WSDOT, Dike and Drainage Districts

**AFFIDAVIT OF MAILING**

I, **Shawna Gossett**, hereby declare as follows:

I am an employee of the City of Mount Vernon, Mount Vernon, Washington, a United States citizen, over the age of eighteen years, and am competent to testify to the matters set forth herein.

On **August 11, 2021** I mailed to property owners on the attached lists and email to the agencies on the attached list.

PROJECT DESCRIPTION: Proposed is a phased project to result in 1,820 s.f. of professional office space, seven new apartments (7,946 s.f. of interior remodeling will create five (5) of the units and a 3,196 s.f. addition to the third floor will create the additional two (2) units), and new improvements including: an apartment lobby, elevator, outdoor roof deck, parking areas, dumpster enclosure, common outdoor space, and landscaping.
PLAN21-0294

I certify under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct. Executed in Mount Vernon this **11th** day of **August, 2021**.

A handwritten signature in blue ink that reads "Shawna Gossett".

Name

PNumber	Owner Occupant	OwnerAdd1	OwnerCity	OwnerState	OwnerZip
P52159	Owner/Occupant	1243 S 10TH ST	MOUNT VERNON	WA	98274
P52043	Owner/Occupant	1650 PORT DR	BURLINGTON	WA	98233
P52072	Owner/Occupant	18940 11TH NE	SEATTLE	WA	98155
P52080	Owner/Occupant	2151 N NORTHLAKE WAY STE 200	SEATTLE	WA	98103
P52073	Owner/Occupant	23853 BULSON RD	MOUNT VERNON	WA	98274
P52045	Owner/Occupant	2800 EAST LAKE ST	MINNEAPOLIS	MN	55406
P52041	Owner/Occupant	308 W GATES ST	MOUNT VERNON	WA	98273
P52164	Owner/Occupant	309 PINE ST	MOUNT VERNON	WA	98273
P52077	Owner/Occupant	400 GILKEY RD APT 227	BURLINGTON	WA	98233
P52047	Owner/Occupant	4012 NORTHRIDGE WAY	BELLINGHAM	WA	98226
P52050	Owner/Occupant	403 S 2ND ST	MOUNT VERNON	WA	98273
P52074	Owner/Occupant	408 S 2ND ST	MOUNT VERNON	WA	98273
P52038	Owner/Occupant	504 S 1ST ST	MOUNT VERNON	WA	98273
P52036	Owner/Occupant	516 S 1ST ST	MOUNT VERNON	WA	98273
P52162	Owner/Occupant	601 S SECOND ST	MOUNT VERNON	WA	98273
P52086	Owner/Occupant	910 CLEVELAND AVE	MOUNT VERNON	WA	98273
P52040	Owner/Occupant	PO BOX 1010	MOUNT VERNON	WA	98273
P52166	Owner/Occupant	PO BOX 406	PERRYVILLE	KY	40458
P52039	Owner/Occupant	1012 17TH ST	ANACORTES	WA	98221
P52161	Owner/Occupant	1650 PORT DRIVE	BURLINGTON	WA	98233
P52044	Owner/Occupant	16520 43RD AVE W	LYNNWOOD	WA	98037
P26476	Owner/Occupant	1800 CONTINENTAL PL	MOUNT VERNON	WA	98273
P135485	Owner/Occupant	203 N 5TH STREET	MOUNT VERNON	WA	98273
P52076	Owner/Occupant	204 W MONTGOMERY ST	MOUNT VERNON	WA	98273
P52048	Owner/Occupant	23172 LANYARD LANE	MOUNT VERNON	WA	98274
P52087	Owner/Occupant	9815 EVERGREEN WAY	EVERGREEN WAY	WA	98204
P52075	Owner/Occupant	PO BOX 409	ANACORTES	WA	98221

AGENCY LIST PLAN21-0294

NW Clean Air Authority	Agatam@nwcleanairwa.gov;
Skagit PUD	trueeman@skagitpud.org;
Puget Sound Energy	jeff.mcmeekin@pse.com;
Ziply Fiber (fka Frontier)	David.Glein@ziply.com;
	Dennis.keller@ziply.com;
	Bryan.escamilla1@ziply.com
Cascade Natural Gas	Addam.sad@cngc.com;
	don.pearcy@cngc.com;
Port of Skagit	sara@portofskagit.com;
	patsym@portofskagit.com;
Skagit County PDS	brandonb@co.skagit.wa.us;
	pds@co.skagit.wa.us;
Skagit Council of Governments	kevinm@scog.net;
Mount Vernon School District	ivivanco@mvsd320.org
Skagit Valley College	timothy.wheeler@skagit.edu;
	chris@zervasgroup.com;
Skagit County Assessor	assessor@co.skagit.wa.us
Dike & Drainage Districts:	david@dndfarmsllc.com;
	dhamburgs@msn.com;
	dkdist12@cnw.com;
	peter@ojalalaw.com;
WA State Department of Transportation	roland.storme@wsdot.wa.gov;

Shawna Gossett

From: Shawna Gossett
Sent: Wednesday, August 11, 2021 8:38 AM
To: Agatam@nwcleanairwa.gov; truman@skagitpud.org; jeff.mcmeekin@pse.com; David.Glein@ziply.com; Dennis.keller@ziply.com; Bryan.escamilla1@ziply.com; Addam.sad@cngc.com; don.pearcy@cngc.com; sara@portofskagit.com; patsym@portofskagit.com; brandonb@co.skagit.wa.us; pds@co.skagit.wa.us; kevinm@scog.net; ivivanco@mvsd320.org; timothy.wheeler@skagit.edu; chris@zervasgroup.com; assessor@co.skagit.wa.us; david@dndfarmsllc.com; dhamburgs@msn.com; dkdist12@cnw.com; peter@ojalalaw.com; roland.storme@wsdot.wa.gov
Cc: DS-Planning; Permit Tech
Subject: PLAN21-0294 - 508 S 2nd Street - Notice of Application and Notice of Public Hearing
Attachments: NOA and NPH, PLAN21-0294.pdf

TYPE OF DOCUMENT:	Notice of Application and Notice of Public Meeting and Public Hearing
DESCRIPTION OF PROPOSAL:	Proposed is a phased project to result in 1,820 s.f. of professional office space, seven new apartments (7,946 s.f. of interior remodeling will create five (5) of the units and a 3,196 s.f. addition to the third floor will create the additional two (2) units), and new improvements including: an apartment lobby, elevator, outdoor roof deck, parking areas, dumpster enclosure, common outdoor space, and landscaping.\
LOCATION:	The project site has an address of 508 S 2nd Street, is described by the Skagit County Assessor as parcel P52080, is located within a portion of the SE ¼ of Section 19, Township 34N, Range 4E, W.M., and is located at the SE corner of the intersection of S 2nd and W Gates Streets. The vicinity map below identifies the approximate boundaries of the project site.
APPLICANT:	Mark Christ 810 Bennett Street Sedro-Woolley, WA 98284 360-855-1546
DATE OF ISSUANCE:	August 13, 2021
LEAD AGENCY CONTACT:	Rebecca Lowell, Principal Planner Development Services Department 910 Cleveland Avenue, Mount Vernon WA 98273 360-336-6214
FOR MORE INFORMATION:	Navigate to the following web page: https://ci-mountvernon-wa.smartgovcommunity.com/Public/Home ; once there click on the blue "GO" link under the heading "My Portal". Type in the project number from this notice (the search bar is near the top of the screen). Click on the project number listed below the search bar.

Shawna Gossett, CPT
Senior Permit Technician



Development Services
910 Cleveland Ave
Mount Vernon, WA 98273

PHONE: (360) 336-6214 | **WEB:** www.mountvernonwa.gov

PERMIT PORTAL: <https://ci-mountvernon-wa.smartgovcommunity.com>

WARNING: Please be advised the City of Mount Vernon is required to comply with Chapter 42.56 RCW, Public Records Act. This means that information you submit to the City via email (including personal information) is likely subject to disclosure as a public record.



AFFIDAVIT OF POSTING LAND USE CHANGE SIGN(S)

PERMIT NUMBER: PLAN21-0294

① IDENTIFICATION OF PROPERTY WHERE LAND USE SIGN WAS POSTED:

ADDRESS:	508 S 2nd Street	PARCEL NUMBER(S):	P52080
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② ACKNOWLEDGEMENT OF POSTING:

I hereby certify that I have posted the above-identified property with Land Use Change Sign(s) according to the following posting instructions:

SIGN POSTING INFORMATION AND INSTRUCTIONS

The proponent shall be responsible for posting sign(s) in a conspicuous location on each street frontage bordering the subject property. Each sign shall be visible and accessible for inspection by members of the public. This means that signs need to be posted such that a person does not have to walk more than a few feet onto a property to read the posted notice. In cases of unusual property location, configuration, size, etc., the Development Services (DS) Department shall determine the placement and number of signs required.

The sign(s) shall be posted by the proponent as required on the subject property at the direction of City staff. The proponent shall be responsible for removing the sign(s) within seven (7) calendar days after completion of the public hearing process. Place a copy of the Notice in the plastic bag, tape or staple the bag to each sign in the appropriate place, and post the sign(s) on the property as required.

- The sign shall be mounted on backing material (plywood, particleboard, or equivalent) and supported by at least two posts.
- Signs shall not be located where they may cause a traffic or pedestrian hazard.
- Signs shall not be attached to trees or other landscaping.

The date upon which I posted the Land Use Change sign(s) was:

8/12/2021

Signature

Date

STATE OF WASHINGTON

ss.

COUNTY OF SKAGIT

I certify that I know or have satisfactory evidence that Mike Morgan is the person who appeared before me, and said person acknowledged that he/she/they signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the, owner to be the free and voluntary act and deed of said company, for the uses and purposes therein mentioned.

Given under my hand and official seal this



Shauna J. Cossett
Notary Public
Residing at: Mayville
My appointment expires: 4/22/24

ADVERTISING PROOF
STANWOOD CAMANO NEWS

1215 Anderson Rd,
Mount Vernon, WA 98274
Ph. (360) 416-2210 Fax: (907) 452-5054

BILLING DATE:	ACCOUNT NO:
08/10/21	46751

CITY OF MOUNT VERNON
910 CLEVELAND AVE
MOUNT VERNON, WA 98273

**CITY OF MOUNT
VERNON
NOTICE OF
APPLICATION &
NOTICE OF PUBLIC
MEETING & HEARING**

**APPLICATION NAME
& NUMBER:** South 2nd
Street Mixed Use Development, PLAN21-0294

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APPLICANT:
Mark Christ
810 Bennett Street
Sedro-Woolley, WA 98284
360-855-1546

STAFF CONTACT:
Rebecca Lowell, Principal Planner
Development Services Department
910 Cleveland Avenue,
Mount Vernon WA 98273
360-336-6214

Comments on the Notice of Application must be submitted, in writing, no later than August 27, 2021. Comments should be as specific as possible and those submitting comments are required to comply with the following:

AD #	DESCRIPTION	START	STOP	TIMES	AMOUNT
133030	CITY OF MOUNT VERNON	08/13/21	08/13/21	2	\$263.62

Payments:

Date	Method	Card Type	Last 4 Digits	Check	Amount
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Discount: **\$0.00**
Surcharge: **\$0.00**
Credits: **\$0.00**

Gross: **\$263.62**
Paid Amount: **\$0.00**

Amount Due: \$263.62

We Appreciate Your Business!

- All comments must include: (1) your full name, (2) your mailing address, and (3) the name of the proposal you are commenting on.
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**Published
August 13, 2021
SVH-133030**